

# THE CROSBY

## AT RANCHO SANTA FE



## DESIGN GUIDELINES

## TABLE OF CONTENTS

<b>DEFINITIONS</b>	<b>V</b>
<b>Introduction</b>	<b>1</b>
1.0 Purpose of the DESIGN GUIDELINES	2
1.0.1 Document Organization	2
1.0.2 Other Approvals	3
1.1 Regulations	3
<b>Architectural Vision</b>	<b>6</b>
2.0 Architectural Vision	7
2.1 Spanish Revival Theme	8
<b>New Construction Rules &amp; Regulations</b>	<b>17</b>
3.0 Overview	18
3.1 Site Planning	18
3.1.1 Minimum Home Size	18
3.1.2 Maximum Allowed Height	18
3.1.3 Guest Houses and Caretaker's Cottages	18
3.1.4 Garages	18
3.2 Multiple Contiguous Lots	18
3.3 Construction Start Up Procedure	19
3.3.1 Restricted Access	19
3.4 Construction Damage and Clean-up / Improvement Deposit	21
3.5 Time Requirements	21
3.6 Insurance	21
3.7 Site Conduct and Safety Precautions	21
3.8 Hours and Duration of Construction Operation	21
3.9 Temporary Construction Facilities, SWPPP and NOI	22
3.10 Adjacent Property Access	25
3.11 Trash and Debris Removal	25
3.12 Site Spoils	26
3.12.1 Concrete Wash-Out Pit	26
3.13 Periodic Inspections	26
3.14 Compliance	26
3.15 Completion Inspection	27
3.16 Additions and Remodels	27
3.16.1 In General	27
<b>Building Materials and Features</b>	<b>30</b>
4.0 Color Palette	31
4.1 Roofs	31
4.1.1 Roof Tile	31
4.1.2 Chimneys	31
4.1.3 Skylights	31
4.1.4 Flashing And Sheet Metal	32
4.1.5 Vents	32
4.1.6 Antennas	32
4.1.7 Solar	33

4.1.8 Rain Gutters	34
4.1.9 Swallow Netting	34
4.2 <i>Structure Walls</i>	35
4.2.1 Exterior Walls on Buildings	35
4.2.2 Tall Building Walls	35
4.2.3 Long Building Walls	36
4.2.4 Balcony Design	36
4.2.5 Sundeck Design	36
4.3 <i>Windows, Doors &amp; Awnings</i>	36
4.3.1 Windows	37
4.3.2 Garage Doors	37
4.3.3 Awnings	38
4.4 <i>Exteriors</i>	38
4.4.1 Non-Landscape Lighting	38
4.4.2 Mailboxes	39
4.4.3 Mechanical Equipment	39
4.4.4 Paving	39
4.4.5 Signs	39
4.4.6 Trash Containers	40
4.4.7 Trellises, Patio Structures & Gazebos	40
4.4.8 Storage Sheds	40
4.4.9 Utilities	41
4.4.10 Water Valves	41
4.4.11 Swimming Pools and Below Ground Spas	41
4.4.12 Above Ground Spas	42
4.5 <i>Private Lot Walls &amp; Fencing</i>	42
4.5.1 General Requirements	43
4.5.2 Pest Barriers	46
4.6 <i>Fire District Requirements</i>	47
4.6.1 Fire Hydrants – Sprinklers	47
4.6.2 Fire Apparatus Turning Radius	47
<b>Community Landscape Character</b>	<b>48</b>
5.0 <i>Landscape Character</i>	49
5.1 <i>Landscape Objectives</i>	49
<b>Community Landscape Standards</b>	<b>50</b>
6.0 <i>Landscape Design Character</i>	51
6.1 <i>Time Requirements</i>	51
6.2 <i>Submittal Procedures</i>	51
6.3 <i>Submittal Contents</i>	51
6.3.1 All Submittals	51
6.3.2 Guest Builder – Landscape Only	52
6.3.3 Custom Residential – Landscape Only	53
6.4 <i>Planting Design</i>	53
6.4.1 General	53
6.4.2 Front Yards	54
6.4.3 Rear and Side Yards	55
6.4.4 Slopes	55
6.4.5 Allowed Plant List	55
6.4.6 Prohibited Species	60
6.5 <i>Fire District Approval – Brush Management</i>	61

6.6 <i>Site Improvements</i>	61
6.7 <i>Soil Preparation</i>	62
6.7.1 <i>Submittal Requirements</i>	62
6.8 <i>Drainage and Grading</i>	62
6.9 <i>Irrigation Guidelines</i>	63
6.10 <i>Landscape Lighting</i>	66
6.10.1 <i>Landscape Lighting Plan</i>	66
6.11 <i>Temporary Landscape – Guest Builder</i>	66
6.12 <i>Artwork, Sculptures, Fountains and Exterior Accessories</i>	67
6.13 <i>Maintenance</i>	67
6.13.1 <i>Maintenance</i>	68
6.14 <i>Fee, Deposits and the Review Process</i>	68
6.14.1 <i>Guest Builder – Landscape Only</i>	68
6.14.2 <i>Custom Residential – Landscape Only</i>	70
6.15 <i>Landscape Completion Inspection</i>	70
<b>Design Review Procedure &amp; Requirements</b>	<b>71</b>
7.0 <i>Architectural Review Procedure</i>	72
7.0.1 <i>Basis for Approval of Regulated Improvements</i>	72
7.1 <i>Architectural Approval &amp; Inspection Process</i>	73
7.1.1 <i>Requirement of a Pre-Design Meeting/Workshop</i>	73
7.1.2 <i>Schematic Design Submittal</i>	74
7.1.3 <i>Final Working Drawing Submittal</i>	77
7.1.4 <i>DRC Review of County Approved Architectural Plans</i>	79
7.1.5 <i>Proceeding with Work</i>	79
7.1.6 <i>Inspection of Work by DRC</i>	80
7.1.7 <i>DRC Construction Review Procedures</i>	80
7.1.8 <i>Notice Of Completion</i>	82
7.1.9 <i>Failure to Complete Work</i>	82
7.2 <i>Landscape Approval Process</i>	82
7.2.1 <i>Landscape Plan Review Procedure</i>	82
7.2.2 <i>Notice of Completion</i>	83
7.2.3 <i>Failure to Complete Work</i>	83
7.3 <i>Golf Course DRC Approval Process</i>	84
7.4 <i>Fees, Deposits and Insurance</i>	84
7.4.1 <i>Deposits and Insurance</i>	84
<b>Exhibits</b>	<b>87</b>
<i>Allowed Plant List</i>	88
<i>Common Areas Walls &amp; Fencing</i>	93
<i>Curb Outlets</i>	100
<i>Custom Residential Design Review Application</i>	102
<i>Custom Residential Submission List</i>	104
<i>Field Construction Inspections And Certification Requirements</i>	105
<i>Final Plan Review Submittal Checklist</i>	106
<i>Guest Builder Residential Landscaping Design Review Application</i>	108
<i>Pest Barrier Schematic</i>	109
<i>Preliminary Plan Review Submittal Checklist</i>	110
<i>Prohibited Plant List</i>	111
<i>Sample DRC Checklist</i>	112
<i>Schematic Design Plan Review Submittal Checklist</i>	118
<i>Start Of Construction Approval Checklist</i>	119



## **DEFINITIONS**

**ARCHITECT:** shall mean a person licensed to practice architecture in the State of California.

**ARTICLES OF INCORPORATION:** shall mean the Articles of Incorporation of The Crosby Estate at Rancho Santa Fe Master Association, as the same may be amended from time to time.

**BEST MANAGEMENT PRACTICES (BMP's):** shall mean the water quality management process contained in the Water Quality Management Plan to address storm water runoff and water quality management after completion of construction.

**BOARD OF DIRECTORS or BOARD:** shall mean the board of directors of The Crosby at Rancho Santa Fe Master Association, as the same may be constituted from time to time.

**BYLAWS:** shall mean the Bylaws of the CEMA as they may be amended from time to time.

**BUILDING ENVELOPE:** shall mean the portion of a lot within which the owner may construct a dwelling. The building envelope is defined by the applicable setback requirements and height limits set forth in County Ordinance #8627, the Custom Lot Declaration, the approved site plan, and requirements of governmental agencies with jurisdiction.

**CEMA:** shall mean The Crosby Estate at Rancho Santa Fe Master Association, a California non-profit mutual benefit corporation. The members of the Master Association shall be each owner of a lot or dwelling within the community, which lot or dwelling is subject to the Master Declaration and the jurisdiction of the Master Association.

**CIVIL ENGINEER:** shall mean a person licensed to practice civil engineering in the State of California.

**COMMON AREA or MASTER COMMON AREA:** may be used interchangeably and shall mean all real property and improvements situated thereon, owned by, leased to, or under an easement granted, given or assigned to the CEMA for the maintenance thereof.

**COMMUNITY:** shall mean The Crosby development.

**COMMUNITY ENTRIES or MAIN PROJECT ENTRIES:** shall mean the access controlled/gated main entries of the Community.

**CONDOMINIUM:** shall mean a condominium estate as defined in California Civil Code Sections 783 and 1351[f], which is located within a Condominium Project or any phase thereof.

**CONTRACTOR'S MANUAL:** shall mean the manual provided to custom lot owners upon DRC's final approval of owner's plans, that must be given to owner's contractor and regulates construction and other activities related to the improvement of owner's lot.

**COVENANTS, CONDITIONS & RESTRICTIONS (CC&R'S):** shall mean the First Amended and Restated Master Declaration of Covenants, Conditions & Restrictions for The Crosby Estate at Rancho Santa Fe, as amended from time to time.

**CUSTOM LOT or HOMESITE:** shall mean a residential lot created by a Final Map and sold

individually to private owners.

**CUSTOM LOT DECLARATION:** shall mean the Custom Lot Declaration of Covenants, Conditions and Restrictions for The Crosby at Rancho Santa Fe, which is recorded against certain custom lots in the community.

**DESIGN GUIDELINES:** shall mean the standards established in this document for use as guidelines for construction, reconstruction, additions, changes or alterations, or installation of improvements with respect to size, character, form, material, color, access, and other characteristics associated with design.

**DESIGN REVIEW COMMITTEE (DRC):** shall mean the committee appointed by the Board of Directors of the CEMA as provided in the Covenants, Conditions & Restrictions (CC&R's) to review and either approve or disapprove proposals and or plans and specifications for the construction, reconstruction, exterior additions, changes, alterations or installation of improvements within The Crosby.

**DEVELOPER:** shall mean Starwood-Santa Fe Valley Partners, a California general partnership, the master developer of the community. The representative is Noel Humphrey (858) 756-6300.

**DISTRICT FACILITIES:** shall mean and include the water and sewer facilities improvements and facilities and fire protection services within the overall Community.

**DWELLING or RESIDENCE:** shall mean and refer to single family residential dwelling structure constructed on a lot, together with any garages and other appurtenant structures and in the case of a condominium shall mean all elements conveyed to an owner as a part of his or her condominium estate.

**EXCAVATION:**

**CUT:** Any grading on a lot to a depth of one-half (0.5) foot or more.

**FILL:** Any added soil, rock, or other materials that raises the elevation in the lot by one-half (0.5) foot or more.

**FIRE MANAGEMENT PLAN:** shall mean the Fire Management Plan approved by the Rancho Santa Fe Fire Protection District, which contains standards, provisions and brush management requirements to be undertaken by the Master Association and by the owners of lots and dwellings to reduce fuel available for fires regardless of occupancy or use.

**FUEL MODIFICATION ACCESS EASEMENT:** shall mean the area, described in the Fire Management Plan, reserved on some lots for the purpose of Fuel Modification for maintenance by the CEMA and fire protection by the Rancho Santa Fe Fire Protection District.

**FUEL MODIFICATION ZONE:** shall mean that area of land, as designated by the Rancho Santa Fe Fire Protection District, located within or adjacent to open space where a combination of techniques are used to reduce fire potential.

**GEOTECHNICAL CONSULTANT:** shall mean a person licensed to practice engineering geology and geotechnical engineering ("soil engineering") in the State of California.

**GOLF COURSE or GOLF COURSE PROPERTY:** shall mean the real property within The Crosby Club, together with the Golf Clubhouse and other improvements now or hereafter located

thereon that are maintained and operated as a golf course, golf club, practice facility and related facilities by the Golf Course owner.

**GOLF COURSE OWNER:** shall mean Starwood-Santa Fe Valley Partners, a California general partnership, the owner of The Crosby Club, and its successors in interest.

**GUEST BUILDER or MERCHANT BUILDER:** may be used interchangeably and shall mean and refer to any person who purchases from DEVELOPER all or any portion of a planning area for the purpose of constructing dwellings thereon for sale to consumer buyers pursuant to a public report. Initial design and construction of production homes by Merchant Builders will be subject to a design review process conducted by the DEVELOPER utilizing additional design criteria.

**HARDSCAPE:** shall mean inorganic, impervious building and paving materials placed on the ground to form a permanent driving or walking surface (e.g., driveways, walkways, patios, and pool decks).

**LANDSCAPE ARCHITECT:** shall mean a person licensed to practice landscape architecture in the State of California.

**LOT:** shall mean a home site shown on any final map covering any real property subject to the jurisdiction of the CEMA, together with any improvements thereon.

**MASTER DECLARATION:** shall mean the CC&R's defined above.

**MANAGEMENT COMPANY:** shall mean the property's community manager, currently:

J.D. Richardson Company  
2355 Northside Drive, Suite 350  
San Diego, CA 92108  
(858) 234-9884

**OWNER or MEMBER:** may be used interchangeably and shall mean any person holding title to a lot or dwelling in the community as shown in the official records of the County Recorder for San Diego County. The DEVELOPER and each guest builder shall be deemed the owner of each unsold or unleased lot or dwelling held by the DEVELOPER or each guest builder until title thereto is so vested in another owner.

**PARTY WALL:** shall mean a side yard wall on the mutual property line between two lots or between a lot and common area.

**PRIVATE STREETS:** shall mean all of the streets located within the Community, the use of which is limited to persons owning lots or dwellings within The Crosby and in the adjoining McCrink residential development.

**RECORDED GRADE:** shall mean a grading plan prepared by a licensed civil engineer or land surveyor, which plan is approved by the County of San Diego.

**REGULATED IMPROVEMENTS or IMPROVEMENTS:** shall mean all structures and

appurtenances thereto of any type and kind regulated by these DESIGN GUIDELINES, the CC&R's and/or the Custom Lot Declaration including, but not limited to, buildings, outbuildings, the guard house, walkways, irrigation and sewer pipes or lines, drainage lines and catch basins, garages, tennis courts, swimming pools, spas and other recreational facilities, gazebos, guard gates, roads, driveways, walkways and other hardscape, parking areas, fences, gates, together with entry and lock mechanisms thereto, screens, screening walls, retaining walls, awnings, patio and balcony covers, stairs, decks, landscaping, hedges, slopes, windbreaks, the exterior surfaces of any visible structure, exterior lighting, trees and shrubs, flowers, poles, signs, solar or wind-powered energy systems or equipment, communications and any other electronic or security systems, and water softener or heater or air conditioning and heating fixtures, tanks and/or equipment, the demolition or destruction by voluntary action of any improvement structure or appurtenance thereto of every type, the grading, excavation, filling, or similar work or disturbance to the surface of the land including, without limitation, change of grade, change of ground level, change of drainage pattern or change of streambed, the installation, planting, clearing and/or removal of tree shrubs, vines, grass or plants and any change or alteration of any regulated improvement, including any change of exterior appearance, color or texture.

**ROUGH GRADE:** shall mean the elevation of the lot in its original purchased condition.

**SEWER EASEMENT:** shall mean those areas shown on final record maps that have been granted within some lots for the purpose of providing sewer services to the Community. The sewer easements will be maintained by either the Rancho Santa Fe Community Services District, (RSFCSD), or the CEMA. Homes, structural improvements, and trees are not permitted directly over the sewer easement. Shrubbery, groundcover and other landscape improvements installed and maintained by the lot owner are permitted within the easement area, however, the RSFCSD has the right to remove any improvement located within the Sewer Easement in pursuit of maintenance of the sewer improvement. Removal and replacement of any private improvement located within the Sewer Easement may be at the Homeowners expense.

**SHARED COMMUNITY FACILITIES:** shall mean (1) all those portions of the master common area including without limitation the Del Dios Entry, the San Dieguito River bridge, portions of Bing Crosby Boulevard, Old Course Road and West Loop Road and common area lighting, landscaping and slopes adjacent thereto, together with (2) the continuation of Old Course Road, East Loop Road, the southwest corner roadway easement and main project entries located within the McCrink Ranch and slopes and landscape adjacent thereto.

**SHARED USE AND MAINTENANCE AGREEMENT:** shall mean that certain Shared Use and Maintenance Agreement by and between the DEVELOPER and the owners of the McCrink Ranch to provide for, among other matters (1) the shared use and maintenance of the shared community facilities for the common use and benefit of the owners of lots and dwellings within the Community and the owners of the McCrink Ranch and their respective successors and assigns, and (2) the assessment and collection by the CEMA of a monthly shared use assessment for each owner's pro rata share of the cost and expense to maintain the shared community facilities and more particularly described in the Shared Use Agreement.

**SIDE YARD WALL:** shall mean a wall extending along (either on or near) any portion of the side boundary of any lot and includes any tubular steel fence constructed thereon.

**SOIL/GEOTECHNICAL ENGINEER:** See Geotechnical Consultant.

**STREETSCAPE:** shall mean the design elements connected with a street, its right of way and immediately adjacent land, including but not limited to plants, street trees, pilasters, walls, hardscape, signage, irrigation, mailboxes, and lighting.

**SURVEY CERTIFICATION:** shall mean a signed written certification based upon a field survey by a surveyor or civil engineer licensed to practice land surveying in the State of California.

**THE CROSBY:** shall mean the community that is subject to the CC&R's.

**THE CROSBY CLUB:** shall mean the Golf Course, clubhouse, and other improvements located within the Community that are owned and operated as a golf course, golf club, practice and related facilities by the Golf Course Owner. References in these DESIGN GUIDELINES to approval by the Golf Club shall mean, depending on the context, approval by the either (1) the fee owner of the Golf Course, its successors and assigns or, (2) the person or firm operating and/or managing the Golf Course (if other than the Golf Course Owner).

**THE CROSBY MASTER ASSOCIATION:** see CEMA above. Residents within The Crosby are members of the Master Association.

# THE CROSBY

## AT RANCHO SANTA FE

### Chapter 1

### Introduction

## ***1.0 Purpose of the DESIGN GUIDELINES***

The DESIGN GUIDELINES are intended to help you design your new home so it is compatible with the requirements of the CEMA. The DESIGN GUIDELINES are based on the site development, architectural, and landscape criteria that must be met as you make any improvements on your lot. The requirements set forth herein, in the covenants, conditions and restrictions (CC&R's) (and for certain lots, in the Custom Lot Declaration) are intended to preserve and maintain the design character, the desirability and the attractiveness of The Crosby.

Any and all improvements to lots within the community, including any initial construction of improvements, shall be subject to architectural approval by the Design Review Committee (DRC) on behalf of the CEMA in accordance with the provisions of the CC&Rs, and these DESIGN GUIDELINES, and to the extent applicable, the Custom Lot Declaration. Therefore, even though these DESIGN GUIDELINES establish acceptable parameters for design features and architectural landscape standards, any proposed improvement must be submitted and approved in writing by the DRC on behalf of the CEMA prior to the commencement of any work related to such improvements.

Review of the plans and specifications by the DRC may be based on, among other things, conformity with the Building Envelope, scale of site dimensions, and conformity and harmony of external design with neighboring homes. Other factors that may be considered include the relationship of topography, grading and finished ground elevation, the proper facing of all architectural elevations, consideration of aesthetics, noise and privacy, conformity of the plans and specifications to the CC&Rs and/or the Custom Lot Declaration, and conformity of the site development to the provisions and design parameters of these DESIGN GUIDELINES.

Before initial concept approval of any submitted plans and specifications, but prior to final approval by the DRC, additional design guideline modifications or requirements may be imposed on the property by the DRC.

The DRC, in its sole discretion, may require specific additions or modifications to an individual lot in order to ensure compatibility with the overall community design, and to ensure consistency with these DESIGN GUIDELINES, the CC&Rs and/or the Custom Lot Declaration.

The DRC members shall not be liable for damages to any person submitting plans or specifications for approval, or to any owner, by reason of mistake in judgment, negligence or non-feasibility, failure to approve or disapprove any such plans or specifications, or for any injury, loss or damage caused by any improvements constructed from such plans and specifications.

Architects licensed by the State of California must design all houses in The Crosby.

### **1.0.1 Document Organization**

These DESIGN GUIDELINES are organized as follows. They first set forth regulations that govern the construction and landscape process. They then describe the community's architectural vision on which rules of construction and landscape are based. The specific rules that apply to

the construction and landscape process are presented next. The final chapter concerns pre and post review procedures, approval standards, design submittals, fees and insurance requirements, work authorizations, inspections and completions. Exhibits containing submittal forms conclude the DESIGN GUIDELINES.

### **1.0.2 Other Approvals**

After DEVELOPER has no longer appointed a majority of the members of the DRC, the management of The Crosby Club has the right to review plans and specifications for subsequent improvement to the lots that are adjacent to or visible from the Golf Course.

In addition to these requirements, the improvements on each lot must conform to all applicable County, State, and Federal building and grading requirements, regulations, codes, ordinances, laws and specific plans. Where various regulations conflict with one another, the more restrictive regulations or requirements shall apply.

The DESIGN GUIDELINES consist of restrictions, limitations, and suggestions that concern, in part:

- A. The conformity of completed improvements to previously approved plans and specifications; and
- B. The construction, reconstruction, exterior additions, changes or alterations or maintenance of any improvements, as well as the nature, kind, shape, height, materials, exterior, color, surface and location of improvements.

The DESIGN GUIDELINES establish the basis and criteria for the evaluation of plans and specifications submitted to the DRC for review, in accordance with the terms of the CC&Rs. Interpretation of the conditions and requirements set forth in these DESIGN GUIDELINES and the CC&Rs, and, if applicable, the Custom Lot Declaration, are subject to the reasonable discretion of the DRC, which shall make a final determination, in good faith and on behalf of the CEMA and the Community. Each lot will benefit from this determination.

The sketches and other graphic representations in these DESIGN GUIDELINES are offered only as general visual aids in understanding the basic intent of the DESIGN GUIDELINES. The illustrations are not intended to depict any actual lot or home design except as noted.

### ***1.1 Regulations***

Each owner, merchant builder, general contractor, subcontractor and worker shall comply with the following procedures and standards in the DESIGN GUIDELINES and The Crosby at Rancho Santa Fe's Contractor's Manual for all construction within The Crosby. The owner is the ultimate responsible party, and it is therefore the owner's responsibility to make sure that all parties employed on owner's project are aware of these standards. Some of this information is covered in other sections of the DESIGN GUIDELINES.

The DRC may, from time to time, adopt, amend and/or repeal rules and regulations to be the DESIGN GUIDELINES as herein defined; provided, however, that from and after the time when

the CEMA Board of Directors has the authority to appoint all members of the committee except for the one (1) member appointed by the owner of The Crosby Club pursuant to Section 8.1 of the CC&R's, the DESIGN GUIDELINES shall constitute a portion of the rules and regulations of the CEMA and may only be amended or supplemented as provided in Section 8.14 of the CC&R's. The DESIGN GUIDELINES shall be consistent with the development standards for The Crosby as set forth in the Specific Plan and the community design guidelines attached to the Shared Use and Maintenance Agreement and shall interpret and implement the provisions of this article by setting forth:

A. Procedures for the Submission and Review of Proposed Regulated Improvements

The procedures consistent with those set forth in the approval process for DRC review and approval of owner-applicant submittals for proposed regulated improvements (including, without limitation, minimum requirements for submitting a complete application for such approval). See "Sample DRC Checklist" in the Exhibits Section for a summary of requirements. The full requirements are stated in the relevant Chapters in these DESIGN GUIDELINES.

B. DESIGN GUIDELINES for Particular Regulated Improvement

Additional guidelines for the construction of regulated improvements, including, without limitation, architectural design, color schemes, exterior finishes and materials and similar features that are recommended or required for use on any regulated improvements or categories of regulated improvements within The Crosby. Without limitation, any such additional guidelines may include charts of approved colors, typical plans and specifications for commonly recurring projects, such as fencing, and the manner in which the height or number of stories of a dwelling are to be determined.

C. Provision for the Summary Approval of Minor Regulated Improvements

The guidelines can identify categories of regulated improvements or components of the plan review and approval process that can be administered by the DRC staff or other designee of the DRC without the need for direct involvement by the DRC in order to expedite the processing of applications for approval. In the event that the committee determines that certain minor regulated improvement approvals or plan processing requirements can appropriately be administered by the DRC staff or other DRC designee (for example, if the DESIGN GUIDELINES present standard specifications for the design and improvement of fences or mailbox pedestals and an owner submits plans and specifications consistent with the DESIGN GUIDELINES), expedited approval may be appropriate.

D. Criteria and Procedures for Considering Variance Requests

The criteria and procedures for requesting variances from any property use restrictions or minimum construction standards that would otherwise apply to a proposed regulated improvement consistent with Section 8.11 of the CC&R's.

E. Standards for the Maintenance of Construction Sites

Minimum requirements for the maintenance, supervision and restoration of construction

sites by owners and their contractors are contained both in these DESIGN GUIDELINES and in The Crosby at Rancho Santa Fe's Contractor's Manual. Without limiting the foregoing, refer to Chapter 3 for specific regulated activities of contractors and subcontractors (including, without limitation, hours of permitted construction activity), who shall be deemed to be the owner's agents for purposes of rules enforcement, and other compliance matters.

# THE CROSBY

## AT RANCHO SANTA FE

### Chapter 2

### Architectural Vision

## ***2.0 Architectural Vision***

As the name would imply, Spanish Revival architecture is derived from a variety of Spanish-inspired forms developed over centuries of history and amalgamated into a single, identifiable style. While distinctive, it does not demand adherence to a strict and inflexible set of elements to achieve the character. For this reason, Spanish Revival is a very relaxed, comfortable architecture that adapts easily to local or regional tastes and requirements. It is, essentially, reminiscent of a Spanish country village, so fitting for these historic hills.

All designs shall embrace the natural surroundings and use contours to dictate building form and mass. Naturalized landscape should dominate and architecture should play a reserved role. All residences shall be simple in form with balconies, loggias, patios, and courtyards that extend into the landscape. There should be a direct relationship between indoor and outdoor spaces.

Architecture should be relaxed and informal with simple, high quality details.

Beauty in simplicity is the guiding factor in our efforts to echo the area's gentle topography in plan form.

Based on these design elements, The Crosby will harmonize with the natural environment and become woven into the fabric of history.

## ***2.1 Spanish Revival Theme***

### **A. Identifying Features**

1. Low-pitched, red tile roofs, usually with little or no eave overhang. Typically with one or more prominent arches placed above doors, principal windows or beneath porched roofs. Wall surfaces are always stucco and the forms are often asymmetrical.

### **B. Roof**

1. Shallow Pitched
2. Simple hip, gable and shed forms
3. "Mission tile" character

### **C. Windows**

1. Deep set windows
2. Arched, segmental or half round window heads

### **D. Accent Materials**

1. Smooth stucco or sand finish
2. Cut stone accents
3. Terra cotta tiles

### **E. Design Features**

1. Heavy exposed beams
2. Iron or wood balconies and rails
3. Masonry or wood column and balustrades
4. Arcades and trellis feature
5. Decorative tile insets



In addition to these primary features, lower plate line forms flanking higher plate-line forms enrich form and massing while maintaining the relaxed character so indicative of the style. Tapered chimneys, recessed entries and deep-set windows further enhance the style. Loggias and courtyards will be prominent features of the elevations, creating an intermingling of indoor and outdoor spaces that is a hallmark of this rustic, casual architectural style.



Developing four-sided architecture and a pleasing street scene is essential. We begin with notches and steps outlining patios and courtyards.



Then, by pushing garages back beyond a simple porte cochere, we evoke the style's pre-automobile origins and enhance the street scene.

Fractured second-floor spans and single-story edges further enhance the street scene and wrap around the plan while remaining consistent with the architectural style.



Special attention is required to bring a more human scale to the thick, adobe-like massing. Simple treatments such as small gardens behind wooden-gated entrances or fountains serve double duty by softening the scale as well as contributing to the charm of this early California architecture.

Details, borrowed from the rich and diverse Spanish history, provide additional definition and interest.

These consist of elements such as round or square towers, heavy arched and/or carved wooden doors, sculpted moldings, brick or tile vents, graceful balconies with wrought-iron balustrades, window grillwork, lantern lights, arcaded walkways and decorative wrought-iron trim.



Balconies are designed to bring a graceful touch to these somewhat heavily massed elevations. They will be produced in either a stucco or wrought-iron finish. If wrought iron, care should be taken to execute a clean and decorative design.



The roof material, in its defining role for this architecture, must be two-piece clay barrel tile.



Simple, tapered chimneys, stucco finished to match exteriors, are both functional and decorative, introducing a vertical element to the elevation.



To accurately reflect the style, garage and entry doors should be deeply recessed, giving the appearance of being inset in thick adobe walls.



Exterior light fixtures will evoke images of candle-lit sconces and lantern lights in wrought iron or a wrought-iron look finish, serving dual functions as light sources and architectural accents.



Interior courtyards, so characteristic of this style, create an intimate environment that is enhanced by the use of materials such as brick and stucco. High windows punctuate wall surfaces bringing light to the interiors and establish dynamic indoor/outdoor relationships for which this architecture is known.



# THE CROSBY

## AT RANCHO SANTA FE

### Chapter 3

### **New Construction Rules & Regulations**

### **3.0 Overview**

Each owner, merchant builder, general contractor, subcontractor and worker shall comply with the following procedures and standards in the DESIGN GUIDELINES and The Crosby at Rancho Santa Fe's Contractor's Manual for all new construction within The Crosby, including, as appropriate, additions to existing structures. The owner is the ultimate responsible party, and it is therefore the owner's responsibility to make sure that all parties employed on owner's project are aware of these standards. Some of this information is covered in other sections of the DESIGN GUIDELINES.

### **3.1 Site Planning**

The County of San Diego under ordinance #8627 has established all site-planning standards. (The Ordinance can be obtained at The County of San Diego Zoning Division.) These standards control setbacks, building types, building heights, lot sizes, density, use regulations, special area regulations and animal regulations. It is the owner's responsibility to adhere to these standards and obtain all necessary County approvals.

#### **3.1.1 Minimum Home Size**

The minimum size of a home within the Community, (excluding any garage, basement, attic or non-habitable square footage) is twenty-five hundred (2,500) square feet. This requirement may be adjusted for townhomes or condominiums.

#### **3.1.2 Maximum Allowed Height**

The maximum height for a home within the Community is 30'. This requirement may be adjusted to allow protrusion of vents and chimneys.

#### **3.1.3 Guest Houses and Caretaker's Cottages**

One (1) guesthouse or caretaker's cottage, not to exceed fifteen hundred (1,500) square feet, is permitted per lot so long as all standards established by the County of San Diego Ordinance #8627, as well as the CC&R's and/or Custom Lot Declaration, are followed.

#### **3.1.4 Garages**

Garages should be designed with single garage doors and landscaping between doors. Rear lot, multi-car, multi-car with tandem spaces, split designs, and subterranean garages will be allowed. A variety of garage entry conditions are encouraged: split garages (two and one or two and two) with mid-entry to the home; garages set back deeply, to allow front yard amenities. The garage orientation should avoid or minimize visibility of the open garage from the street.

### **3.2 Multiple Contiguous Lots**

#### **A. Construction of Single Dwelling on Contiguous Lots**

1. If an owner of two or more adjacent lots ("Contiguous Lots") desires to construct a single dwelling that crosses one or more of the lot lines separating the Contiguous Lots, the Buildable Envelopes, Buildable Pads and Setback Areas of each of the Contiguous Lots

must be reconfigured in accordance with Section 2.4.4 of the Custom Lot Declaration.

2. The Contiguous Lots reconfiguration must be approved by the DRC and the Declarant under the Custom Lot Declaration (for so long as the Declarant owns any custom lot).
3. The County of San Diego or other applicable agency may require, as a condition of its approval of the development of a single dwelling on the Contiguous Lots, that the owner file a lot line adjustment, final map or parcel map eliminating the interior lot lines separating the Contiguous Lots so that a single parcel is created.
4. The County or applicable agency may impose other conditions on development in connection with its approval of development of the proposed dwelling.
5. Notwithstanding any approvals permitting construction of a single dwelling on the Contiguous Lots, the owner of the lots must pay Master Association assessments, community facilities district taxes, assessment district assessments, and other fees and charges assessed by applicable governmental or quasi-governmental agencies for each of the original lots within the Contiguous Lots.
6. In addition, except as provided in these requirements, each of the Contiguous Lots will be treated individually for all purposes under the governing documents for The Crosby (for example, voting rights, payment of special assessments and the like to be applied to each of the original lots comprising the Contiguous Lots.
7. All requirements of the DESIGN GUIDELINES regarding size of Building Envelopes and other matters for construction of a single custom home on a single lot shall not be applicable to construction of a single home on multiple Contiguous Lots, although the requirements may be considered conceptually in establishing the limitations on the structures being designed on the multiple Contiguous Lots pursuant to Section 2.4.4 of the Custom Lot Declaration.

**B. Development of Multiple Lots with Individual Dwelling on Each Lot**

1. If an owner of two or more lots desires to improve each lot with an individual dwelling, the owner must develop each lot with a unique custom home, each with its own unique architectural elevation and floor plan.
2. The same plans may not be used on more than one dwelling constructed on lots within The Crosby.

***3.3 Construction Start Up Procedure***

**3.3.1 Restricted Access**

When an owner has secured all required approvals from the DRC and the County of San Diego and has supplied the required construction damage deposit, insurance policy, and paid any architectural review fees, he will receive entry passes for his General Contractor or Superintendent. See “Start of Construction Approval Inspection Checklist” in the Exhibits

Section. The owner or contractor will be required to have an entry pass in hand when registering at the security access gate prior to beginning any construction. Copies of the entry pass and “contractor registration” document forms are available from the MANAGEMENT COMPANY. The owner and his or her general contractor or superintendent is responsible for hiring a licensed subcontractor for all work and identifying them on the contractor registration form.

Each owner is responsible for hiring a general contractor licensed in California to construct his or her home or improvements. The owner and his general contractor are required to construct the residence and surrounding improvements according to the plans, specifications and revisions approved in writing by the DRC and the County.

The owner and his or her general contractor or superintendent are responsible for familiarizing themselves and complying with all portions of the CC&R’s, the Custom Lot Declaration, these DESIGN GUIDELINES, and the Contractor’s Manual. Each general contractor or superintendent is responsible for familiarizing their employees, subcontractors, and suppliers with all relevant construction requirements and provisions in the construction standards. Any contractor not complying with these policies will be prohibited from entering the community.

Lot owners are responsible for the actions of their contractors and workers. The owner is held financially responsible for any damages that are caused by any contractor or worker.

All vehicles must stop and identify themselves before entering the community. This includes showing the gate attendant a valid entry pass. The gate attendant has every right to challenge entries to The Crosby, and will check the passes to ensure they are not expired. It is the responsibility of the owner to provide the gate attendant with an updated list of contractors. It is the responsibility of the owner to make sure their contractors have entry passes. Owners and their general contractors should refer to the Article III A of the Contractor’s Manual for further information on construction access procedures.

All entry passes will be identified by lot, address and permit number and all construction personnel will be restricted to the lots on which they are employed. This will also apply to their delivery drivers and those with whom they have appointments. Access will be permitted during normal working hours only (see Section 3.8 below for further information regarding working hours). Access will not be allowed after construction working hours or on weekends when no work is being done. No one shall be permitted to bring with them children, pets, friends, guests, relatives or anyone else who has not been cleared through security. If a contractor is denied access to one job, he may be denied access to the community at the discretion of the CEMA and the gate attendant. No solicitation of other sites or existing residences is allowed.

The owner and his or her general contractor or superintendent is required to employ a full-time, on-site construction foreman with the authority to receive deliveries and direct suppliers and subcontractors.

All unauthorized parties will be denied access.

The speed limit within The Crosby is 25 miles per hour throughout the community (or less depending on site conditions). All contractors shall respect the speed limits or access to the community can be denied.

General contractors, employees, subcontractors and suppliers shall not enter common areas of

the Golf Course for any reason at any time without written permission from The Crosby Club.

### ***3.4 Construction Damage and Clean-up / Improvement Deposit***

As The Crosby develops, the potential for damage to existing properties and common area caused by construction greatly increases. Therefore it is necessary to collect a Clean-up/Improvement Deposit prior to commencement of construction. Please refer to the Clean-Up/Improvement Deposit in section in 7.4.1 (A) of these DESIGN GUIDELINES.

If this deposit is reduced at any time during the course of construction to pay for any damage that may have occurred, it must immediately be restored to the original amount. The full amount must be on deposit before the DRC will perform any inspection.

### ***3.5 Time Requirements***

Except upon written permission from the DRC, construction shall start within 6 months of approval by the DRC. Except as otherwise provided herein, the total construction period from the time the building permit is issued until construction is complete may not exceed 12 months without written approval from the DRC.

### ***3.6 Insurance***

Each owner shall cause his or her contractor, as a condition to obtaining an entry pass, to provide the Association with a copy of such contractor's liability policy designating the Association as an additional insured in an amount not less than one million dollars (\$1,000,000.00) to protect the Association against any loss, damage or injury that may occur as the result of entry and activity by such contractor or its agent. See insurance requirements, Section 7.4.1.

### ***3.7 Site Conduct and Safety Precautions***

The General Contractor, job superintendent, employees, sub-contractors and suppliers shall:

- A. Comply with all of the construction provisions contained in The Crosby documents.
- B. Follow the directives of the entry gate attendants, MANAGEMENT COMPANY and DEVELOPER.
- C. Not bring or consume alcoholic beverages or illegal substances on the site.
- D. Not damage or disturb the work of others and protect work in place by others.
- E. Not play radios, tape or compact disc players so that the sound extends across the lot boundaries.
- F. Not bring children or animals on the site
- G. Take all necessary precautions for the safety of all persons, materials and equipment on or adjacent to the site. Furnish, erect and maintain approved barriers, lights, signs and other safeguards to give adequate warning to everyone on or near the site of dangerous conditions during work.
- H. Minimize the sound impacts of generators or other construction equipment.
- I. Vacate the job site by 6:30 PM Monday through Friday and by 5:30 PM on Saturday. There shall be no overnight camping in the construction trailer.
- J. Comply with directions of the DEVELOPER.

### ***3.8 Hours and Duration of Construction Operation***

The following hours apply to both workers and owners and no work of any kind shall be performed outside these hours:

Monday through Friday: 7:00 a.m. to 6:00 p.m.

Saturday: 8:00 a.m. to 5:00 p.m.

Note: Earthmoving equipment on Saturdays shall be limited to 8:30 a.m. to 12:30 p.m. DEVELOPER is excluded from this restriction and has the right to offer the same exclusion to any merchant builder.

Sunday & Holidays: **NO WORK**

The following holidays will be considered to be national holidays and will be subject to annual review by the Board of Directors:

- New Year's Day
- Memorial Day
- Independence Day
- Labor Day
- Thanksgiving Day
- Christmas Day

All contractors, subcontractors, suppliers and employees must be off the job site prior to 6:30 p.m. Monday through Friday and 5:30 p.m. on Saturday. **NO EXCEPTIONS**

The above listed holidays are DEVELOPER-designated holidays. The County of San Diego observes additional federal and state holidays, some of which they will not allow work to occur on. It is the responsibility of the contractor to contact the County to determine County observed holidays.

Use of any construction or power equipment prior to 7:00 a.m. is prohibited. Earth moving equipment is prohibited on Sundays and California state holidays.

### ***3.9 Temporary Construction Facilities, SWPPP and NOI***

The following temporary construction facilities are required to be placed entirely on the owner's lot before construction commences:

A. Temporary Water:

A temporary water riser and hose bib together with 150' (minimum) of 1" heavy-duty rubber water hose shall be provided and installed for irrigation facilities and dust control.

B. Temporary Electric:

A metered power outlet shall be provided and installed in accordance with the requirements of San Diego Gas and Electric (SDG&E) and the County of San Diego.

C. Temporary Toilet:

The general contractor must provide a temporary fiberglass toilet on the construction site in good condition, and must maintain such toilet in accordance with a bi-weekly chemical maintenance program. The general contractor must maintain all temporary toilets in clean, sanitary and odorless condition. The toilet must have a containment system in

compliance with the Storm Water Pollution Prevention Plan (“SWPPP”) prepared for the lot (see Section J below).

D. Dumpster:

The general contractor must keep a dumpster on the lot during construction. Materials shall be placed so that they will not be visible from outside of the dumpster. A regular dumping service shall be maintained so that unpleasant odors do not occur. During the landscape phase of construction, the dumpster will be permitted to be placed along the curb for a maximum of two (2) months, but if placed along the curb, the general contractor must place 1” plywood sheets beneath the dumpster to protect the asphalt surface of the street. At no time may the dumpster be placed on any common area lot, adjacent owner’s lot, roadway, parkway or landscaped area, unless the owner obtains a permission letter from the CEMA or the owner of such lot PRIOR to placement of the dumpster on such property. The dumpster must have a covering system on site at all times during construction, and the cover must be in place 24 hours prior to a rain event in compliance with the SWPPP.

E. Temporary Construction Trailer:

Trailers shall be no smaller than 8’ X 16’ (box size), of recent construction and in good repair. No construction “shacks” will be permitted. All signs must be removed from trailers.

F. Storage Bins:

Storage bins for on-site material storage shall be steel and in good repair. No storage is allowed on the streets or within the street right-of-way.

G. Temporary Construction Fence:

Immediately after the foundation has been poured, Owner’s general contractor must install a six foot (6’) chain link fence and frontage gate, with a secured 94% block out green vinyl mesh, along the streetscape edge, the construction site and any stockpiling area, or in such other location as required by the DRC. Owner’s general contractor must maintain the fence and mesh in good condition until completion of construction. Portable toilets, dumpsters, telephones, electric power outlets, storage bins, and trailers must be screened within this fence. If the construction gate is to be locked, it is the responsibility of the general contractor to provide the DRC with a key to access the site.

H. Job Site Telephone:

The general contractor must install a job site telephone in an enclosure in accordance with the TCF Plan or in a trailer.

I. Installation of Gravel at Driveway Entrance:

Installation of a three-inch layer of 1” gravel at the entry of each lot for a minimum twelve feet back of curb is required. A rubberized gravel deflector product shall be installed behind the curb to contain the gravel and prevent the gravel from damaging the back of the curb. The purpose of the gravel is to assist in the maintenance of the lot and

streets so as not to track dirt and mud onto the community streets. Placement of such gravel is a requirement of the SWPPP.

J. SWPPP:

A Storm Water Pollution Prevention Plan (“SWPPP”) must be prepared by the Owner or his/her contractor or other consultant prior to start of grading or any other construction on the lot. A copy of the SWPPP must be included with the schematic and final working drawings submittals for review and approval by the DRC.

The SWPPP must be prepared in accordance with the requirements of the General Permit and the County of San Diego’s Storm Water and Grading Ordinances, as well as the Water Quality Management Plan for The Crosby. Copies of such documents are contained in the “Runoff Management Documents” binder and the “Storm Water Control Manual for Contractors” that were given to the owner at close of escrow. Copies of such binder and manual are also available at the Community Information Center. The owner must insure that copies of this binder and manual are delivered to its general contractor for review and compliance prior to commencement of construction, and compliance with same must be a requirement of owner’s contract with its general contractor. Neither the DEVELOPER, the CEMA, nor the MANAGEMENT COMPANY make any warranty or representation that the materials regarding the General Permit and other storm water requirements contained in the binder and the manual are complete, and the owner and its general contractor are solely responsible for insuring that they comply with all applicable storm water laws, ordinances and regulations in connection with the construction of the residence on the lot. Any failure by owner and its general contractor to so comply shall subject them to penalties or other legal action by federal, state and local agencies, as well as constitute a breach of owner’s obligations hereunder and under the Master Declaration. Owner shall indemnify, defend and hold harmless the DEVELOPER, the CEMA and the MANAGEMENT COMPANY from any and all liabilities, losses, expenses, penalties, fines, claims, demands, actions, orders, and damages of any nature arising from the failure of owner and/or its general contractor or any other subcontractor to comply with all applicable storm water laws, ordinances and regulations.

The owner and general contractor are liable for SWPPP compliance for their work and the work of their subcontractors. Further information on SWPPP requirements may be obtained from San Diego County.

Upon completion of construction, the owner must prepare a “Notice of Termination” report and submit it to the State Water Resources Control Board. This notice must include specific Best Management Practices that will remain in effect as to the improved lot.

K. Prior to any grading or other work on the lot, the owner must prepare a “Notice of Intent” (NOI) and submit a copy with the final working drawings to the DRC. The NOI must comply with the terms of the General Construction Storm Water Permit, Water Quality Order 99-08-DWQ (“General Permit”), which notice must be submitted to the State Water Resources Control Board. The owner must also pay any fees charged by the State Water Resources Control Board in connection with such Notice. Further information regarding this notice requirement may be obtained from San Diego County.

L. Wash-Out Pit:

The TCF Plan must also show the location of the “wash-out pit” on the lot. This is the area where mortar, concrete, plaster or other construction materials will be washed down during construction. (See Section 3.12.1 below for further requirements regarding cleaning out the washout pit.) The washout pit is mandatory and must be established in accordance with the SWPPP prepared for the lot.

***3.10 Adjacent Property Access***

The use of property adjacent to lots under construction for vehicular access purposes, parking of equipment and material storage, stock piles, or forms will not be permitted without the written permission of the adjacent property owner. A copy of this written permission shall be forwarded to the DRC. Please refer to Sections I, II, and IV of The Crosby at Rancho Santa Fe Contractor’s Manual for further details and sample permission letters.

***3.11 Trash and Debris Removal***

The owner, general contractor, job superintendent, employees, and suppliers shall comply with the following rules established for the daily maintenance and cleanliness of the site.

- A. Maintain the site daily, and if a permission letter has been obtained, adjacent sites, in a neat and clean condition, neatly stockpiling all materials delivered for or generated by the work and immediately removing any waste material or debris generated by the work.
- B. Remove debris generated by employees, such as paper, cans, bottles and litter from the job site and other affected areas on a daily basis.
- C. Remove all equipment, materials, supplies and temporary structures when any phase of the work is complete, leaving the area neat and clean. Equipment not in daily use must be removed from the job site.
- D. Keep the streets, gutters and adjacent property clean and free of dirt, trash, debris or other material related to or caused by the work on a daily basis.
- E. Maintain dust, erosion and storm water runoff controls on the lot during construction operations.
- F. The owner is responsible for all erosion control and Best Management Practices (BMP’s) in accordance with SWPPP. In no instance shall soil sediment be allowed to spill or leave the owner’s lot. All hazardous materials shall be properly stored and removed.
- G. Confine the washing down of all equipment to the lot. Materials such as concrete may not be washed down in the street, into any streams or natural open space areas, onto adjacent lots or in common areas. Materials may not be discharged into the storm drain. A “wash-out pit” lined with plastic must be provided on the lot for this use, and must be cleaned of materials on a regular basis as part of the routine maintenance of the construction site.

### ***3.12 Site Spoils***

- A. Any spoils generated from the site grading must be placed on the owner's lot. No material may be placed on the street, Golf Course, common area, streams and open space, adjacent lots or in the lots drainage system.
- B. All excess spoils shall be removed promptly and disposed of in accordance with County of San Diego rules and regulations at controlled dumpsites.
- C. Storage of spoils on adjacent property will not be permitted without the written permission of the adjacent property owner and must be specifically permitted in Exhibit A to the Permission Letter. A copy of the written Permission Letter from the adjacent Lot owner must be on file with the DRC prior to placement of any spoils on an adjacent lot.
- D. All demolition, clearing, grubbing, stripping of soil, excavation, compaction and grading must be completed in accordance with all applicable laws and permitting agency requirements.
- E. Owner's general contractor shall prevent any surface waters from Owner's Lot from damaging excavations, public or private property, or excavated and/or fill slopes, both during and after construction.
- F. Any spoils that are not properly stored or removed will be cleaned up at the expense of the owner.

#### ***3.12.1 Concrete Wash-Out Pit***

All concrete washout pits shall be located on the site that received the concrete. The washout pits shall be controlled on site and not allowed to wash onto adjacent properties, into the street or onto soil. Washout pits must be cleared out as necessary and debris hauled offsite. The owner shall be responsible for all costs of cleanup if this procedure is not followed.

### ***3.13 Periodic Inspections***

Per section 7.1.6, it is the owner and their contractor's responsibility to schedule required construction inspections throughout the course of construction. Representatives of the DRC will visit the site at various stages of construction. The owner shall allow the inspections for the purpose of verifying conformance with the approved plans. A mandatory SWPPP inspection is performed bi-monthly at The Crosby. The SWPPP inspector must have access onto all lots. DRC and MANAGEMENT COMPANY shall have access through all locked gates. Refer to section II, Chapter 5 of the Contractor's Manual for further information.

### ***3.14 Compliance***

The CEMA reserves the right to deny site access to any general contractor, job superintendent, subcontractor, supplier, consultant or their employees ("Owner's Agent"), who are in violation of these DESIGN GUIDELINES, the Contractor's Manual, the Master Declaration, the Custom Lot Declaration, or any other applicable laws. Site access may also be denied to any Owner Agent or vehicle, who or which, in the sole discretion of the CEMA Board of Directors, is deemed to pose a threat to (a) the health and/or safety of the community or the natural

environment within and around The Crosby, (b) any other owner, family members or guests, and/or (c) other persons or property located within The Crosby.

In addition, the CEMA reserves the right to stop construction on a lot and to deny access to the lot where:

- A. The property is being built or landscaped in violation of the approved plans and specifications
- B. Any violations of these DESIGN GUIDELINES, the Contractor's Manual, the Master Declaration, the Custom Lot Declaration, applicable laws (including but not limited to the regulations herein regarding access to the community) exist.

In the event that the CEMA alleges a right to deny site access for any of the foregoing reasons, the CEMA shall immediately transmit written notice of the alleged reasons/violations to the affected owner or Owner's Agent at their address of record, if known, advising that the denial of site access shall become effective after providing the affected owner and/or Owner Agent, as applicable, notice and hearing in accordance with the procedures set forth in the Bylaws. Notwithstanding the hearing procedures, the CEMA reserves the right to immediately deny access where the threat to the health and/or safety of any person or property within The Crosby is deemed by the CEMA Board of Directors to be imminent. In the event of immediate denial of site access, the Board of Directors shall nevertheless afford the affected owner and/or Owner Agent, the opportunity for notice and hearing in accordance with the notice and hearing procedure referenced above.

If the Board of Directors determines to uphold a denial of site access, the affected owner hereby agrees to indemnify and hold the CEMA harmless from any claim for damages or other liability brought against the CEMA by either the affected owner, or by any Owner Agent, in connection with any denial of site access.

### ***3.15 Completion Inspection***

Upon notice of completion (per the Design Review Procedure and Requirements Chapter of these DESIGN GUIDELINES), a DRC representative will schedule a site construction review to determine conformance with the approved plans. The review applies to original construction and additions and remodels.

The DRC will not approve changes during the final inspection.

### ***3.16 Additions and Remodels***

#### **3.16.1 In General**

Additions and remodels to existing homes in The Crosby shall be designed to be an integral part of the existing structure. The new construction shall match the existing residence in every aspect of design, details, material, color, and workmanship in addition to those applicable sections of these DESIGN GUIDELINES. It is the community's desire to have all new construction appear as if it was part of the original design and not a later addition. Every design effort shall be made to make the transition of existing construction to new construction as seamless as possible with architectural diligence.

Drawings submitted for review by the DRC shall be completed by a design professional with all drawings stamped by a California Licensed Architect. The licensed Architect shall assure the DRC that the drawings are in compliance with all aspects of these DESIGN GUIDELINES.

Four (4) sets of drawings shall be submitted to the DRC for review containing at a minimum the following:

#### Preliminary Review

1. *SITE PLAN*, drawn to scale, accurately showing existing construction, the new Addition and/or Detached Accessory Structure, property lines, setbacks, street, easements, and pertinent topography such as banks. All other existing improvements shall be shown including but not limited to fencing, walls, trellises, barbeques, etc.
2. *FLOOR PLAN*, ¼ inch scale, showing the existing construction and the new Addition and/or Detached Accessory Structure, complete with dimensions, door and window designations, light fixtures, and other features to be constructed.
3. *EXTERIOR ELEVATIONS*, ¼ inch scale, showing all sides of the new construction with the existing construction as affected by the new Addition. All Elevations of any Detached Structures shall be shown. The maximum height of any Detached Structure shall be twelve feet (12 feet) from adjacent finished grade to the highest point of the finished roof. Attached Additions shall rise no higher than the highest point of the existing residence.
4. *CROSS SECTION*, 1/4 inch scale, show new construction and contiguous existing construction with all pertinent dimensions.

All drawings shall be well noted indicating design details, material, color, and workmanship.

#### Final Review

A landscape plan shall be included. Depending on the size nature of the addition or remodel, general notes and performance standards may be adequate, or at the DRC's discretion, detailed plans may be required, including new Rancho Santa Fe Fire Protection District stamped landscape plans. Landscape plan requirements will be determined by the DRC during the Preliminary Review.

Four (4) sets of final construction drawings approved by the Rancho Santa Fe Fire Protection District shall be submitted to the DRC for review and confirmation of previous review approval. Drawings shall bear the Fire District's dated Stamps of Approval.

The DRC will endeavor to review all drawings expeditiously so as not to impede construction scheduling.

The requisite Fees for review are payable with the initial application per the Schedule of Fees.

All questions are welcome and will be answered by the DRC to help facilitate the process.

**NO CONSTRUCTION shall commence until the DRC has reviewed the Fire District's approved drawings and date stamped by the DRC.**

# THE CROSBY

## AT RANCHO SANTA FE

### Chapter 4

### Building Materials and Features

## ***4.0 Color Palette***

Exterior colors must harmonize with the architectural style and surrounding natural environment. Stucco should fall within a range of medium tones. Colors such as beige, cream, tan and off-white are appropriate. The preferred stucco finish is either fine sand troweled or smooth.

Clay roof tiles are suitable in a range of colors from deep red to terra cotta and browns. The wood accents are fitting in deep browns. Shutter and wrought iron accent colors should be medium to dark earth tones to create a harmonious blend in this architectural style.

## ***4.1 Roofs***

### **4.1.1 Roof Tile**

- A. Roof tiles must be clay tiles of real red or earth tone natural shades.
- B. Monochromatic roof tiles are prohibited. Roof tiles will range in color from deep red to terra cotta and brown earth tones.
- C. Limited use of one-piece barrel glass tile for skylights will be permitted on a case-by-case basis.
- D. All other roofing materials are prohibited unless otherwise approved.
- E. A two-piece clay barrel tile roofing system shall possess mudded “bird-stops” rather than pre-manufactured systems.
- F. A 30% tile boost is required to provide additional roof texture and interest.

All roofs shall have a pitch in the range of 3:12 to 6:12 (vertical distance : horizontal distance). Gambrel, mansard or other composite roof forms are prohibited.

Roofing should be composed of natural materials. Roof tiles must be two-piece clay barrel tile.

Areas of flat roof, balconies, terrace covers and trellises are acceptable if they are designed as architectural extensions of the main residence. Roofing materials on such areas shall blend in color and material with the main roof or wall color so as not to cause glare or to call attention to themselves when viewed from above.

### **4.1.2 Chimneys**

Chimneys cannot exceed those heights required by the building codes of the County of San Diego. Exposed metal flues and exposed spark arrestors are not acceptable. Chimney caps must be designed to complement the architectural elements of the home and must screen the spark arrestor.

### **4.1.3 Skylights**

Skylights are to be designed as an integral part of the roof. Skylight glazing must be clear, tinted or white. Reflective glazing is prohibited. Skylight framing material must be anodized bronze or colored to match the roof. Natural aluminum framing and flashing is prohibited.

#### **4.1.4 Flashing And Sheet Metal**

All flashing and sheet metal must be colored to match the adjacent roof material.

#### **4.1.5 Vents**

All vent stacks and pipes must be colored to match the adjacent roof or wall material. Vent stacks should be grouped on the side or rear of the roofs. Vents should not extend above the roof ridgeline unless dictated by County of San Diego Code.

#### **4.1.6 Antennas**

##### **4.1.6.1 In General**

Owners may not install any television, radio or citizen band (CB) antenna, large satellite dishes (over 18" in diameter) or other similar electronic receiving or broadcasting device that is visible from adjacent lots, streets, Golf Course or public spaces. Interior installation of such devices must be in compliance with all applicable ordinances of the County of San Diego. All homes must be pre-wired for cable TV reception.

##### **4.1.6.2 Satellite Dishes**

Owners who desire to install a satellite dish (SD) shall comply with the following guidelines:

##### Specific Design Criteria:

1. SD diameter will be a no greater than thirty six (36) inches. Only one (1) dish per house is permitted;
2. Minimize SD and associated hardware/cables exposure to the common area, other lots and the Golf Course. A SD provider with multiple orbiting satellites may provide the most flexibility for locating the SD;
3. Mounting hardware color shall blend with the color of the house; and
4. Cables are to be painted to match the color of the structure to which the SD is attached. Repaint as necessary.

##### DRC Submittal Requirements:

1. Submit a completed Residential Design Review Application form with completed Neighbor Notification signoff;
2. Submit a check in an amount to be determined at the time of the application to pay for the review;
3. Provide a schematic of the installation showing location on property, mounting details including but not limited to mounting hardware specifications, any modification to the property, cable runs from SD to where it penetrates the structure; and

4. Provide a picture of the SD with specifications.

#### **4.1.7 Solar**

Prior to the construction or installation of any solar panels, the owner shall comply with the Guidelines set forth below. Compliance with federal, state and local laws and regulations is the sole responsibility of the homeowner. The DRC Guidelines are in addition to those laws and regulations, not a substitute for them:

1. All solar equipment exposed to the exterior shall be located in a manner that minimizes visual impact. The solar equipment shall not be located on any portion of the roof where such equipment is visible from the common area or other lots so long as placement on other roof locations does not (a) reduce the efficiency of the solar system by more than permitted by law, or (b) increase the cost of a water heating system by more than permitted by law or the cost of a photovoltaic system by more than permitted by law.
2. Support and ancillary solar equipment shall be enclosed and screened from view.
3. Exposed elements other than panels and frames shall be painted to match the adjacent building surface.
4. Solar panels must be configured in a rectangular array.
5. Photovoltaic panels must be dark in color such as black or dark blue. Their glass layer must be anti-reflective. All frames must also be black. Other colors such as white, silver, natural aluminum, etc., are prohibited.
6. Panels for swimming pool heating shall be rigid, not flexible. Provide a physical sample or photo of the product for DRC review with submittal.
7. A minimum of 2 feet of exposed roof shall be maintained, separating all panels from roof edge, valley and/ or peak. 3 feet of separation from the roof ridge shall be maintained.
8. Pipes and other wall-mounted equipment shall be painted to match house.
9. Pipes shall be routed so as to be in the most inconspicuous area away from common area and other lot view.
10. Hot water storage tanks shall be located inside the garage or within pool equipment enclosure.
11. Photo Voltaic controls shall be located inside the house, garage or pool equipment enclosure.
12. Installation contractor shall be CEC (California Energy Commission) certified.
13. When installing solar panels on homes under construction, the tile roof shall be omitted beneath the panels for a recessed appearance. For existing homes, the tile roof shall be removed from beneath the panels if the removal process does not increase the installation cost above the amount permitted by law. For both houses under construction and existing homes, a row of boosted tiles shall be installed to diminish the visibility of panels from the common area or lots owned by others.
14. Pool panels shall be mounted with the manifolds running horizontally and the collectors vertically.
15. Pool panels shall have ridged spacer bars  $\pm 1'$  on center to maintain tube spacing and uniformly bridge mission tiles.
16. Consider installing panels on patio structures or secondary shade structures or

landscape.

17. Indicate location of all ancillary equipment on the site plan.

DRC Submittal Requirements:

1. Provide a full roof plan (drawn to scale), showing existing and proposed solar panels, all roof vents and other roof projections.
2. Provide details of panel installation, existing tiles to be removed, etc.
3. Provide details of panel integration into roofing materials, including details on bracketing and hardware.
4. Provide a full site plan (drawn to scale) noting location of solar panels and all associated equipment with respect to the common area, other lots, etc., and show any solar panels proposed on the ground. Site plan shall also show lot lines and setbacks from property line.
5. Provide detailed information of product and manufacturer. Include photographs.
6. Provide a completed neighbor notification form.
7. Provide required review fee per fee schedule.
8. Provide required construction deposit per fee schedule.
9. All plans shall be prepared by a licensed contractor, architect or landscape architect.
10. Provide 4 sets of all plans and documents.

**4.1.8 Rain Gutters**

All surface water from roofs must be collected and connected to the storm drain system within the building envelope. Gutters and downspouts must be concealed or designed as an architectural feature. Gutters, including pipe connections to underground, shall be finished to the ground plane.

If the home or ancillary structure is designed without gutters, then the lot owner and his or her civil engineer must certify that the grading plan for the lot is designed to collect all surface drainage within the lot and that all surface water will be conveyed by properly designed drainage facilities to the underground storm drain system.

**4.1.9 Swallow Netting**

Owners who wish to affix swallow prevention barriers to their eaves may take action to prevent the establishment of swallow nests without the prior approval of the Master Association or any of its committees so long as the following conditions are met:

1. Only licensed contractors with specific expertise in the prevention and remediation of swallows may perform any aspect of the prevention or remediation.
2. The currently permitted preventative measure is netting. Additional or replacement measures may be established from time to time, but are not permitted at this time.
3. The netting must be installed such that it conforms to the eaves rather than draping over them.
4. The netting must not drop more than 6 inches below the lowest point of an eave.
5. Black or dark brown are the only acceptable netting colors.

6. The netting must be maintained in its original condition. Any tears, dangling pieces, faded sections, etc., must be repaired or removed and replaced.
7. Notify the MANAGEMENT COMPANY prior to installation of the barrier.

Failure to comply with one or more of the above conditions may result in a fine and/or the requirement to remedy the non-complying feature. See “Swallow Netting” in the Exhibits Section for photos of eaves that comply with these requirements.

The following companies, listed in alphabetical order, are examples of licensed contractors that may be used to perform the prevention and/or remediation action. There are additional companies in the San Diego area that are qualified to perform the service. The Association does not endorse a particular company or individual.

Bird Solutions International  
Jeff Stafford 800-210-9514  
<http://www.birdsolutions.com>

ProPacific Pest Control  
Danile Ulloa 760-504-9177  
<http://www.propacificpestcontrol.com>

ProjectWildlife  
858-866-0555  
<http://www.projectwildlife.org>

San Diego Wildlife Removal  
Chris Jones 619-446-7438  
[chris@sdwildliferemoval.com](mailto:chris@sdwildliferemoval.com)  
<http://www.sdwildliferemoval.com>

## ***4.2 Structure Walls***

### ***4.2.1 Exterior Walls on Buildings***

A smooth, sand finish and light to heavy dash coat plaster, bumpy smooth (Santa Barbara style) and coated adobe wall finishes are appropriate. Joining marks between coats of stucco because of scaffolding or construction techniques must be avoided and should be cause for rejection in the field by the lot owner or the general contractor. Homes with multiple stucco colors are permitted. Heavy swirl or Spanish lace type stucco textures are prohibited.

Wood siding is not allowed. Subject to review and only when appropriate to architectural style, dark brick facing and cultured stone are also permitted.

### ***4.2.2 Tall Building Walls***

Wide wall sections that are two story and greater stucco surfaces shall be treated in one or more of the following ways in order to “break up” the flat appearance of the wall plane.

- A. Change of plane between first and second story.

- B. Balcony, window seat, window accents or other projection.
- C. Architectural detailing.

#### **4.2.3 Long Building Walls**

Wall sections that are in excess of forty feet (40') in length shall have a horizontal offset of at least five feet (5') in order to "break up" the flat appearance of the wall plane. The offset shall continue from the ground to the roof and cause the fascia line and roof to similarly break. An inset of at least three feet (3') may be considered if the overall impact of the inset is judged by the DRC to break up the wall in a similar manner to the required full offset.

#### **4.2.4 Balcony Design**

The design shall be an extension of the house architecture. Owners are encouraged to use balconies to break up the flat appearance of the rear of a house. The use of tile or stone as a paving material is encouraged. If an elastomeric material is proposed, a color sample must be submitted for approval.

Drainage from a balcony must be conveyed via a drain system or gutter system. A detail of the balcony edge showing the finish material with an integral curb or gutter will be required. The railings shall be in a style that compliments the style of the house.

These appurtenant improvements to the home must either be within the building envelope or reviewed and approved for a location outside the building envelope by the DRC.

#### **4.2.5 Sundeck Design**

In addition to the balcony design requirements, sundecks shall be designed so that the railing details shall be an integral part of the architecture. No sundecks are permitted on or over any portion of a two-story roof.

All first floor decks are restricted to a six (6) foot maximum elevation over finished grade level unless reviewed and approved by the DRC. The underside of all decks must be screened with plant material, which will grow a minimum of four (4) feet in height.

#### **4.3 Windows, Doors & Awnings**

Window and door openings should be recessed to accentuate the appearance of wall depth. Actual recessed openings are highly encouraged although the appearance can be achieved through the construction of home projections (box-outs) and bay windows. Use of wood windows is highly encouraged, while the use of aluminum windows is prohibited except in limited circumstances. Specifically, clad steel and aluminum are permitted where the material visually appears to be wood and matches an appropriate palette color.

The only type of tinted glass allowed is gray. The degree of tint will be subject to approval by the DRC.

Garage doors should be recessed 18 to 24 inches from adjacent walls to create depth and shadow patterns.

Window and door openings are to be consistently designed on all elevations. Street facing

openings may have additional details. The following details are required on all building sides and on all window and door openings.

- A. Trim surrounds on all sides.
- B. Window recesses into thickened walls.
- C. An alternate design treatment that achieves scale, order, proportion and depth of opening.
- D. Minimum window insert or recess dimension should equal 4" and a minimum window return of 3"

#### **4.3.1 Windows**

##### A. Greenhouse Windows

The use of greenhouse windows is allowed if they are an integral part of the building design. The structure, detail and color of the greenhouse windows shall be of the same high quality window system as the main residence. Added on greenhouse structures for room additions are unacceptable.

##### B. Divided Lite Windows

If divided lite windows are used, they should be uniformly used on all elevations. If divided lite windows are required for the design, they shall be one of the following details:

- 1. True divided lites with integral muntins and individual panes of glass;
- 2. Full divided lites with permanently applied interior and exterior grilles and a permanent divider aligned with the grilles between the panes of glass.
- 3. Windows wider than 24" must have both vertical and horizontal muntins.

##### C. The following divided lite details are not allowed in The Crosby:

- 1. Snap in non-permanent grilles.
- 2. Interior only or exterior only grilles.
- 3. Interior and exterior grilles without the permanent filler grill between the panes of glass.
- 4. Only the filler grille between panes of glass.

#### **4.3.2 Garage Doors**

Overhead sectional rolling garage doors are required in The Crosby. Single piece garage doors are not allowed. The door shall be installed per the approved design. Wood, steel or fiberglass doors are required. Garage doors shall be single car width only per Section 3.1.4.

All garage doors shall be equipped with automatic garage door openers. If a conflict in garage door opener frequencies exists, the person having the most recent Certificate of Occupancy date shall be required to have his frequency changed. It shall be the responsibility of the owners involved along with their garage door opener representatives to resolve any problems relative to this item.

### **4.3.3 Awnings**

Prior to installation or construction of any awning, every owner shall comply with the following guidelines:

1. Awnings must conform to the Rancho Santa Fe Fire Protection District standards.
2. All awnings must be approved by the DRC prior to installation.
3. Awnings may have significant community view impacts. Therefore, it is very important that awnings conform to the Crosby architectural community theme of Spanish Revival.
4. If used, awnings must match the residence architecture.
5. Retractable awnings are not permitted.
6. Drop shades may be permitted in limited enclosed patio circumstance and on a case-by-case basis. In such circumstances, all hardware, railings, headers or other mounting elements must be mounted on the interior of the structure, not visible from the exterior. However, interior mounted drop shades are acceptable for awnings.
7. Metal enclosures and equipment are not permitted.
8. Individual windows and doors shall have individual awnings.
9. Continuous single awnings over multiple fenestrations are not allowed.
10. Awnings shall utilize ornamental iron featuring spear ends and/or other design features consistent with these DESIGN GUIDELINES.
11. Awnings shall have open, not enclosed sides.
12. Awnings shall be constructed of quality materials and craftsmanship.
13. No bright colors or patterns are allowed.
14. Owner is required to submit to the DRC plans, details, specifications and catalog information to show proposed material finishes, colors and method of installation.
15. Owner shall submit professional, scaled drawings. Drawings must be prepared by a licensed architect or licensed contractor showing each element being considered in plan and elevation form. Plans shall adequately describe the scope of work.
16. Owner shall submit a non-refundable review fee and upon approval a refundable construction deposit per the Crosby fee schedule. The balance if available shall be refundable upon successful completion of project.

## ***4.4 Exteriors***

### **4.4.1 Non-Landscape Lighting**

#### **4.4.1.2 Lighting Standard**

Light fixtures within each lot are subject to approval by the DRC. Light fixtures must minimize the amount of glare into neighboring homes, public areas, open space and into the sky (see County Dark Sky Ordinance). All security spotlights and outdoor area lighting must have shields to direct the lighting downward. Any lighting from the homeowner's lot that is directed toward areas outside of the lot, including adjacent lots, Golf Course or the San Dieguito River, is prohibited. Exposed bulbs, spotlights, and reflectors are prohibited.

#### **4.4.1.3 Site Lighting**

Heights, materials, colors, and configuration of lighting fixtures should be selected to blend with

the natural backdrop to the extent practical. Outdoor lighting should be energy-efficient, shielded and screened to prevent direct rays from reaching adjacent properties.

Lighting fixtures should complement building design. Unique accent lighting may be used to feature architectural elements, entrances and pedestrian areas. However, if proposed in the Del Dios river park viewshed, such treatments should be minimized and carefully controlled. All lighting must meet the Dark Sky Ordinance issued by the County of San Diego. See additional Landscape Lighting Guidelines, Section 6.10.

#### **4.4.2 Mailboxes**

Mailboxes are not permitted on owner lots or on or near common area streets or curbs. A common area mailroom is available for the receipt of mail delivered by the United States Post Office. Contact the MANAGEMENT COMPANY for details.

#### **4.4.3 Mechanical Equipment**

All air conditioning and heating equipment must be screened from view and be insulated for sound attenuation. Air conditioning units are not permitted on roofs or in windows. Enclosures shall be at least 6 inches higher than the enclosed equipment, with the equipment not to exceed 5 feet in height.

#### **4.4.4 Paving**

Paving colors and materials used within The Crosby community are subject to approval by the DRC. Permitted colors and materials are listed here. Only colors and materials listed here are permitted:

1. Asphalt (with appropriate banding)
2. Natural stone (including but not limited to: Adoquin stone, sandstone, limestone, granite and slate)
3. Flagstone
4. Exposed aggregate (Natural Stone Color)
5. Natural stone unit pavers
6. Colored concrete (Natural Stone Colors)
7. Stamped concrete (Natural Stone Colors)
8. Wire cut brick
9. Fired clay pavers
10. Pre-cast concrete pavers
11. Terrazzo
12. Decomposed granite
13. Turf block, Grasscrete or equal
14. Interlocking concrete pavers

At a minimum, all paving must meet the County of San Diego drainage and structural thickness code requirements.

#### **4.4.5 Signs**

Address signs must meet the approval of the Rancho Santa Fe Fire Protection District and not exceed the minimum size required.

Exterior signs, other than house numbers, may be displayed only in accordance with the applicable provisions set forth in the CC&Rs and any applicable rules and regulations adopted by the DRC. Refer to The Crosby at Rancho Santa Fe Contractors Manual for restrictions on construction signs.

#### **4.4.6 Trash Containers**

Garbage, rubbish and other waste material (trash) on lots in the Crosby shall be stored in covered sanitary containers. No odor may emanate from stored trash that is unsanitary, offensive or detrimental to those in the immediate vicinity including on neighboring lots and in the common area. Lot owners are responsible for retrieving their trash when spilled in the common area.

Except on trash collection days, owners must keep all containers completely screened from view of the common area, the Golf Course and other lots. For this purpose, containers may be stored, for example, behind opaque gates, walls or inside garages. In the event that an architectural change is necessary in order to comply with this policy, an appropriate application must be filed with the DRC for approval.

Trash containers may not be placed in the common area earlier than 12:00pm (noon) on the day preceding collection. Containers must be removed from the common area not later than 12:00pm (noon) the day after collection.

Trash containers that are placed in the common area in violation of this policy will be tagged with red paper stapled around container handles. The tags indicate that the violations are in the correction process.

#### **4.4.7 Trellises, Patio Structures & Gazebos**

Wood trellises, overhead structures and gazebos shall be constructed of wood posts, beams, and wood lath materials. Minimum post size is 6" x 6" nominal dimension. Beams, rafters, and lath materials must be of sufficient size and strength to resist sagging and must comply with Rancho Santa Fe Fire Protection District specifications. Posts must be set in or upon concrete footings. The maximum allowable height is 10 feet from pad grade to top of structure. Steel, metal, and aluminum overhead structures are not permitted. Wood elements must be painted or stained to match the existing architecture. Within the building setback envelope, taller trellises may be allowed subject to DRC architectural review. All trellises, overhead structures and gazebos shall be located a minimum of 4 feet away from property lines.

#### **4.4.8 Storage Sheds**

Storage and gardening sheds must be of high quality construction to match or be a continuation of the existing architecture of the house. Prefabricated aluminum, steel or plastic sheds are not permitted. Storage sheds should have design components similar to the existing architecture, including tile roofing material, wood frame and stucco construction, matching paint or stain finishes. Prefabricated sheds may be considered with appropriate enhancements that create a custom appearance. Tool, storage and gardening sheds must not be visible from the street or

adjacent neighbors property. If a storage shed is contemplated, it must be submitted and approved by the DRC.

#### **4.4.9 Utilities**

Gas and electric meters, transformers, pedestals, telephone, and fiber optic network units shall be either (a) located in enclosed cabinets that are incorporated into the architectural features of the home or (b) screened with walls and or landscaping from adjacent lots and the street. All utility panels must be painted to match adjacent surfaces or covered with appropriate finish material. Meter and cabinet designs shall conform to utility company standards. No individual meters or vaults shall be located within the street right-of-way. Fiber optic cables are not currently available at The Crosby. The CEMA suggests that the lot owner install an extra standard electric utility box and an additional two (2) inch conduit from the street to the custom home, to receive the fiber optic infrastructure once it is made available.

#### **4.4.10 Water Valves**

No water shut off valves shall be on the street elevation of the building. All exposed piping shall be painted to match the wall color of the wall into which they adjoin. Vacuum breaker assemblies shall be concealed from street view.

#### **4.4.11 Swimming Pools and Below Ground Spas**

Pools and spas present specific potential visual and noise impacts to neighbors and the community. Additional water quality regulations apply to Crosby homes. Setback, screening and other requirements for pools, spa, equipment and appurtenances are intended to address these issues.

Swimming pools and spas built in ground shall be set back 4 feet minimum from the water edge to property lines. Built-in pools, spas and ancillary water features shall be not more than 24 inches above existing pad grade. Pools may extend over slope edges where the property line setback is maintained. Total walls shall not exceed 6 feet in height. Exposed surfaces of the overflow area shall be non-reflective, neutral color stone or tile. This portion of the wall shall be limited to 30 inches in vertically. Lower portions of the wall shall be finished per other wall Design Guidelines with Community standard stone veneer provided where the wall faces the golf course.

Landscape planting or solid walls shall be used to provide screening from adjacent properties. From rear yards screening should be as high as the pool or spa unit. From side property lines, screening should be 5 feet high. Utilize plant species and installations that will provide, to the DRC's satisfaction, immediate screening.

Solid walls shall be provided to screen pool and spa equipment completely from all angles, with solid gates. Pool security fencing shall meet San Diego County and State of California pool code requirements as well as Crosby Design Guidelines for fencing.

Locations of all pools, spas and equipment, shall be indicated on the hardscape plans with graphic dimensions. Provide detail information including vertical heights, finishes and color exterior (including cover if applicable). Provide specification of variable speed, low noise pump

type. For pre-manufactured spa units provide manufacturer's brochure with DRC submittals.

Backflow discharge shall be made into sanitary sewer, not storm or landscape drains. Provide a sewer lateral near the pool equipment for back flush and pool drainage purpose, unless a cartridge or other type of filter not requiring back flushing is specified. The discharge location and type of filter shall be indicated on the pool plans. Note on plan that any back flush is to be directed into sanitary sewer, not landscape or storm drain.

Chlorinated water discharge into the storm drain or the street is prohibited.

#### **4.4.12 Above Ground Spas**

In addition to those stated in the previous subsection, these requirements pertain to pre-manufactured and other above ground spas.

The spa setback shall be a minimum of three feet from the exterior edge of the unit to side and rear yard property lines as well as to the top of any adjacent slope. The pump must be variable speed, low noise type.

Provide solid wall screening from adjacent properties including the common area. The rear and side yards screening directly adjacent to spa shall consist of walls no higher than 36". The spa, including the spa cover, shall be at least 1" lower than the aforementioned walls. The spa shall not exceed 10' x 10' in overall length and width.

Walls directly enclosing the spa shall be finished in either stucco, which matches the color and texture of the residence, or of a material (such as brick or stone) that matches portions of the residence.

Utilize plant species and installation that will provide, to the DRC's satisfaction, immediate screening of the spa.

In the hardscape plan, provide detail information on the spa unit, including dimensions, overall height, exterior (including cover) finishes and color. Indicate location of pump equipment. Note on plan that any back flush is to be directed into sanitary sewer, not landscape or storm drain.

#### ***4.5 Private Lot Walls & Fencing***

In addition to landscaping, walls and fencing serve as a major component in achieving the desired overall theme for The Crosby.

All community wall and fencing (perimeter) shall be slump block utilizing a two part brown and integral color coated plaster finish. Specific wall types and locations have been established by previous county-approved documents and must be strictly adhered to. The DRC will take into consideration the location of the fence when reviewing the detail. There are different standards for front and rear yards and for golf course adjacent locations. See "Common Area Walls & Fencing" in the Exhibits Section.

In addition to perimeter fencing standards, these DESIGN GUIDELINES establish a fencing program that the homeowner shall follow.

#### **4.5.1 General Requirements**

In general, fences and walls are permitted in any rear, side, or front yard. Exception: Fences and walls shall not be erected within the street right-of-way. Fences shall be constructed of materials, colors, and textures that are similar and harmonious with the architecture. Particular importance shall be given to railing and cap details.

Walls and fences may be offset occasionally to avoid visual monotony. Variety in materials, design and height is encouraged. Fencing and walls shall be used to define the limits of property ownership, as well as for the creation of exterior privacy.

No plain fencing is allowed. Fence design should reflect the home's architectural detailing. Design should provide multiple horizontal rails near the top of the fence. Rings or diagonal bar ornamentation between upper bars is encouraged. If multiple upper horizontal rails are not provided, then vertical bars must penetrate the top rail and have an ornamental finial. Vertical bar enhancements (knuckles, scrolls, twisted pickets, etc.) should be provided in the front and rear yard and other locations where fencing is visible from streets and the golf course.

Aluminum or steel fence is acceptable, but should be painted or powder-coated in a color compatible to the house and community, typically black, or a shade of green or brown. Aluminum is typically connected with screws and bolts, which should also be painted. Fence material must be of solid bar stock.

Gold or other finishes can be reviewed on a case-by-case basis; however, no reflective finishes are allowed.

Fencing and walls may be installed by lot owners within property lines. Some lots have constraints, which may limit the opportunity to locate walls and fences on the side and rear yard property line. For example, some or most lots may have an existing common area wall or fence.

All fences and walls must be designed so as not to block or alter drainage patterns. All easements enclosed by a wall or fence must include gates to allow for maintenance, fire access, and drainage improvements. San Diego Gas and Electric must have access to read meters.

All wall and fence designs must be approved by the DRC. All retaining walls must meet County of San Diego structural engineering standards. Lot owners are responsible for all associated maintenance costs on walls and fences that they install.

Colors should not be bright, reflective, metallic or otherwise visually out of character with the natural setting. In the Del Dios River viewshed area, walls should imitate the colors and textures of the natural environment. A thirty-six inch (36") or greater planting strip should be placed adjacent to any walls highly visible from streets, golf courses, parks or other public locations. Fences should be of open construction whenever they would otherwise block the public's visual access to scenic views. Solid fences may be used however, if needed for noise mitigation. On hillsides, avoid placement of fences perpendicular to the major slope contours. Where unavoidable, use visually open fences to minimize their visual impact.

A. Wall Facing Materials (Freestanding Patio and Landscape Walls)

Except as stated in Subsection 4.5.2, the following is a list of permitted and non-permitted building materials for wall construction:

1. Permitted Materials

Smooth Stucco	Slump Block
Brick	Precision Block w/Smooth Stucco
Stone	Wrought Iron or Tubular Steel
Manufactured Stone	Tempered Glass
Accent Tile	

2. Not Permitted

River Rock	Barbed Wire
Framed Walls	Wire
Electrical Fences	Plain Exposed Concrete Block
Plastic Materials	Corrugated Metal
Chain Link	Wood (except for gates)
Wood-Picket	
Other “styles” not following a Spanish theme	

B. Wall & Fencing Height

All walls and fences must be measured vertically from the average finished grade elevation at the base of the wall or fence and shall not exceed six (6) feet in height. Solid fences and walls located in front of the home’s street wall shall not exceed 4 feet in height unless specifically approved by the DRC. Lattice or other 50% open designs may be used to extend the wall height, but only with specific DRC approval.

C. Retaining Walls

Retaining walls may be a maximum of six (6) feet high. Retaining walls higher than six (6) feet high, will be reviewed on a case-by-case basis by the DRC and the County of San Diego. All retaining walls must meet the County of San Diego design, permitting, and structural engineering requirements, including proper waterproofing and drainage. Temporary as well as long-term impacts to on-site and adjacent structures, improvements or lot stability must be taken into account in the design. The DRC will evaluate the visual impact of retaining walls on neighboring lots and their appearance from adjacent streets and The Crosby Club. All retaining walls must be screened with associated plantings of trees, shrubs and vines approved by the DRC. Modular retaining walls may be allowed at the DRC’s discretion. Any modular retaining walls taller than 4 feet shall be plantable and of the type installed by the Master Developer.

D. Side Yard Wall Guidelines

The following guidelines shall be used by private non-builder lot owners when building side yard walls within The Crosby. (Refer to definitions of Party Wall and Side Yard

Wall in the “Definitions” Section.)

1. Construction

Side yard walls are not required by the DRC. If a lot owner chooses to build side yard walls, all costs of construction and future maintenance of a side yard wall shall be the entire responsibility of the lot owner who builds the wall, except to the extent the adjacent lot owner agrees to share such costs.

2. Location

If a lot owner decides to build a side yard wall, the above-grade wall must be entirely on his lot unless the adjacent lot owner agrees in writing to accept the installation of all or any portion of the wall, on his or her lot. Easements for wall footings on all lots have been established in the CC&Rs, and therefore the first owner to construct a party wall between two (2) lots may build the above-grade wall entirely on his own lot with the footing extending into the adjacent lot.

3. Design

All side yard walls must be constructed in accordance with these DESIGN GUIDELINES, except as specifically provided below. Design of all side yard walls, especially retaining walls, should also take into account physical impacts on adjacent lots.

4. Coordination with Adjacent Lot Owners

a. Adjacent Lot Owned by CEMA, DEVELOPER or The Crosby Club.

If an owner desires to build a party wall and the adjacent lot is owned by any of the above parties, then the owner must seek permission from such party to build the party wall on the property line separating his lot from the such party’s lot. If the party refuses to permit construction of a party wall on the common property line, then the lot owner must construct a side yard wall entirely within his own lot (except footings). The design of the party wall, or any side yard wall, may vary from the requirements of the DESIGN GUIDELINES if and only if the DRC approves the modified design. If the DRC grants permission to build a party wall on the common property line, the constructing lot owner must first agree in writing to indemnify the DEVELOPER, the DRC and the applicable party from liability associated with construction of the party wall. Absent an agreement with the adjacent party, the owner constructing the wall must absorb all costs of construction and future maintenance costs (including footings).

b. Adjacent Lot Owned by Another Lot Owner

If an owner desires to build a party wall and the adjacent lot is owned by a party other than the DEVELOPER, The Crosby Club or CEMA, then the owner must seek permission from such other owner to build the party wall on the property line separating his or her lot from the adjacent lot. If the adjoining lot owner refuses to permit construction of a party wall on the common property line, then the constructing lot owner must construct a side yard wall entirely within his or her

own lot (except footings). The constructing lot owner shall provide the adjacent lot owner with copies of his plans for construction of the party wall, together with any design modification or retaining wall proposals. All such side yard walls must be approved by the DRC. In order to avoid misunderstandings, it is strongly advised that lot owners enter into written agreements regarding approval of the design of the wall, construction of the wall, construction schedule, hours of construction, cleanup requirements, insurance required of the contractor, sharing of construction costs and sharing of future maintenance costs.

## 5. Design

### a. Finishes

For waterproofing, aesthetic and other reasons, both sides of all side yard walls must be finished. Exposed block will not be permitted. With respect to (a) a side yard wall for which there is no agreement between adjoining owners as to the finish of said wall and (b) a side yard wall constructed entirely within one lot but with footings in the adjacent lot, the wall facing the adjacent lot must be initially finished by the constructing owner with the standard finish outlined in the Common Area Walls & Fencing Exhibit to these DESIGN GUIDELINES, regardless of the type of finish which the constructing owner uses on the side of the wall that faces his lot.

### b. Subsequent Wall Modifications

After a party wall has been constructed, it may be modified only if a written agreement is signed by the owners of the lots on either side of the party wall. Each of the owners of lots separated by a party wall shall have the equal right to use such party wall; and each of the owners of lots separated by either a party wall or a side yard wall on one lot but with footings in the adjoining lot shall have the right to the exclusive use of the surface of the wall on their side of the wall as long as such use does not affect the structural integrity of the wall. Surface finishing on one side of such a wall may be modified by the owner of the lot facing such surface without written agreement by the adjacent lot owner. All modifications to all walls must be approved by the DRC.

## 6. Maintenance Costs

Owners are encouraged to enter into agreements with their neighbors addressing the costs of maintenance of side yard walls.

## E. Pool Code Requirements

All fencing shall meet all San Diego County and State of California pool code requirements.

### **4.5.2 Pest Barriers**

Pest barrier installation presents specific potential visual impacts to neighbors and the community. Pest barriers may not be installed without the prior approval of the Design Review

Committee (DRC). Neither the DRC nor the Board of Directors recommends pest barriers or has an opinion regarding their efficacy.

Pest barriers must be of ¼ inch vinyl mesh or hardware cloth material. They may be either black in color or the color that precisely matches the fencing to which it is attached.

Pest barrier heights may not exceed a maximum of 32 inches above grade.

Pest barriers must be tightly affixed to the fencing with black zip ties. Except for the ties, pest barriers must be located entirely on the inside of the homeowner's wrought iron fence. See "Pest Barrier Schematic" in the Exhibits Section.

Pest barriers must be entirely hidden behind homeowner plant material so that they are not visible on the exterior side of the backyard fencing. The height of masking plant material must, at a minimum, exceed the height of the barrier by 4 inches at the time of barrier installation. Masking plant material, if not existing, must be installed only after approval of the DRC. Any installed material must provide immediate screening and must exceed the height of the barrier by 4 inches at the time of barrier installation.

DRC approval is required before a pest barrier may be installed. However, no review fee will be charged. When seeking approval for pest barrier installation, mark the location in detail on the submitted landscape plan.

#### ***4.6 Fire District Requirements***

##### ***4.6.1 Fire Hydrants – Sprinklers***

The Rancho Santa Fe Fire Protection District requires interior sprinklers on all homes in The Crosby. On-site fire hydrants may be required depending upon driveway length. These requirements have been imposed by the Fire Protection District, which reserves the right to modify the fire code at any point in time. Neither the DRC nor CEMA has any jurisdiction over such requirements.

It is the lot owner's responsibility to budget for interior sprinklers and exterior hydrants when preparing estimates of construction costs for their home. Lot owners or their architects must contact the Fire Protection District during conceptual design to determine the requirements for on-site hydrants and sprinklers.

##### ***4.6.2 Fire Apparatus Turning Radius***

The Fire Protection District, in certain cases, may also require on-site turnarounds. All owners are advised to review the Fire Protection District requirements prior to initiating any design work.

# THE CROSBY

## AT RANCHO SANTA FE

### Chapter 5

### Community Landscape Character

## ***5.0 Landscape Character***

The landscape theme for The Crosby is built upon the Rancho Santa Fe heritage of a rural community. Historical landscape traditions are to be featured in the context of surrounding rural setting of rolling hills, natural slopes and canyons, citrus groves, pastures and winding roads. The desired landscape theme at The Crosby is created by the careful use and placement of thematic plant material as well as other California native and drought-tolerant species.

Formal and actively used outdoor areas are to be provided within a framework of a unifying “informal” landscape. Perimeter landscape areas are transitional in nature, featuring informal groupings of community character and other drought-tolerant and moderate water-use plant species. Interior site areas near the house are not intended for view from off-site and may contain active use lawns, courtyards, patios and pools. Exotic and other water intensive species may be utilized in these areas.

Perimeter site walls and fences should integrate adjacent properties. Patterned brickwork, decorative wrought iron, tile inserts, and wood timbered construction are to be incorporated into the landscape site elements in a manner integral to the Spanish Colonial Revival architectural tradition of The Crosby.

Homeowners, landscape architects, designers and builders are encouraged to extend the surrounding street scene character into individual projects, creating a compatible relationship between the community street scene, project entries and individual lot landscaping. The use of native species is encouraged when development areas are adjacent to natural riparian or lake areas.

### ***5.1 Landscape Objectives***

Specific Community Landscape Character objectives:

- A. Provide an overall landscape character consistent with The Crosby Community Landscape Character and rural Rancho Santa Fe heritage.
- B. Provide individual home landscapes, which extend and harmonize with existing street scene.
- C. Utilize perimeter and slope landscape areas to visually blend individual home landscaping with surrounding hillside, grove and open space areas.
- D. Create harmonizing landscape buffer areas of compatible plant materials between adjoining properties.
- E. Develop informal landscape character, with formal areas developed within the informal context.
- F. Emphasize drought resistant plantings and discourage the development of extensive water intensive lawns and landscapes.
- G. Screen utilities and accessory structures from view with appropriate plantings.

# THE CROSBY

## AT RANCHO SANTA FE

### Chapter 6

### Community Landscape Standards

## ***6.0 Landscape Design Character***

The following information is intended to be a guide for each owner and plan preparer for landscape design and submittal requirements of the DRC.

All areas of the individual lot not occupied by a structure, hardscape, or otherwise utilized shall be landscaped with groundcovers, turf, shrubs or trees.

### ***6.1 Time Requirements***

Residences shall submit landscape only plans within thirty (30) days of Close of Escrow. Landscape installation shall be complete within six (6) months. Custom Lot residences shall be landscaped within 3 months of receiving a Certificate of Occupancy from the County or occupancy of the house, whichever occurs first.

### ***6.2 Submittal Procedures***

Submittals are reviewed as one of two project types:

#### **A. Guest Builder – Landscape Only**

This type of review shall be provided for homes that are constructed by a guest builder prior to purchase, and for which the individual homeowner is proposing landscape only. These submittals may be as a single submittal:

1. Complete Landscape Working Drawing Submittal

#### **B. Custom Residential – Landscape Only**

This type of review shall be provided for custom homes. Review is provided in two parts:

1. Conceptual Landscape Plan Submittal
2. Complete Landscape Working Drawing Submittal

Regardless of project type, where a property is located adjacent to the Golf Course, a copy of The Crosby Club approved plan is required with each submittal. A copy of a Rancho Santa Fe Fire Protection District approved plan is required for **all** project types.

### ***6.3 Submittal Contents***

#### **6.3.1 All Submittals**

All submittals will be reviewed per the following criteria:

#### **A. Authorship**

1. All plans must indicate the name, address, phone number and other contact information of the plan preparer.
2. All sheets must indicate the date of preparation.

#### **B. Format**

1. Plans become DRC record documents; therefore, all information must be neat, clear and in a professional presentation, readable at ½ size reduction, typically not less than 1:10 scale.
2. All sheets must identify project with street address and lot number.
3. All plan sheets must provide a graphic scale and north arrow.
4. Each plan sheet shall clearly indicate property lines, building footprint, street curb, sidewalk, driveway, walks, patios, pools, walls, fences and landscape structures, as applicable, per individual project.
5. Plans must match architectural site plan and Engineer’s grading plan.

**6.3.2 Guest Builder – Landscape Only**

Guest Builder–Landscape Only projects shall be prepared by an experienced landscape professional, licensed in the State of California. Submittal shall include:

A. Residential Landscape Design Review Application Site Plan. See “Guest Builder Residential Landscaping Design Review Application” in the Exhibits Section.

B. Site Plan

Delineating landscape areas, walks, walls, fences, patios, landscape structures (trellis, arbors, gazebos, etc.) and other hardscape, water features (including equipment), and mechanical equipment as they relate to the plot plan and architecture.

C. Planting Plan

Specifying type, size and location of all plant materials. Identify plant types and sizes consistent with DESIGN GUIDELINES, species and locations, and slope stabilization. Indicate all existing and proposed plants on the site as to species (botanical and common names), location, quantity and installation size. See Section 6.4.5 for allowed Theme and Accent plant percentages.

D. RSFFPD Approved Plan Per Section 6.5

E. Design sketches for hardscape

Including but not necessarily limited to pool, spa, driveway, patio, walks, walls as applicable per individual project and solar. Provide placement and heights of fences and walls (including retaining walls). Provide specific details for walls, fences, pilasters, fountains, trellis, overheads, gates, BBQ and other exterior structures or appurtenances. Boards mounted with images depicting all or parts of the landscape design may be substituted. Items may be combined where clearly presented.

E. Provide a color board depicting accurate representation of the color and finish for tiles, veneers, walls, pilasters and caps, concrete driveways and sidewalks, pavers, fountains, wood trellis and overheads, exterior artwork, containers, planters, urns or other exterior furnishings.

F. Soil Preparation Specification Per Section 6.7

G. Grading and Drainage Performance Specifications Per Section 6.8

- H. Irrigation Performance Specifications Per Section 6.9
- I. Landscape Lighting Plan Per Section 6.10
- J. Maintenance Notes Per Section 6.13

### **6.3.3 Custom Residential – Landscape Only**

Custom residential projects shall be prepared by a landscape architect licensed in the State of California. See Chapter 7 for a full description of the submittal process. See also “Custom Residential Submission Checklist” in the Exhibits Section.

### ***6.4 Planting Design***

Plant materials must be able to mature within the environment in which they are placed. Materials compatible with the local soil conditions save time and expense. The quality of plant materials must be of the highest order to ensure a normal growth pattern. Root bound, weak branched, disease and malformed plants should not be planted and or must be removed and replaced. Installation of the plant materials should be accomplished in a manner that potential maintenance problems are minimized and/or eliminated.

#### **6.4.1 General**

- A. Planting plan shall conform to specific Community Landscape Character objectives:
  - 1. Provide an overall landscape character consistent with The Crosby Community landscape character and rural Rancho Santa Fe heritage.
  - 2. Provide individual home landscapes, which extend and harmonize with existing street scene.
  - 3. Utilize perimeter and slope landscape areas to visually blend individual home landscaping with surrounding hillside, grove and open space areas.
  - 4. Create harmonizing landscape buffer areas of compatible plant materials between adjoining properties.
  - 5. Develop informal landscape character, with formal areas developed within the informal context.
  - 6. Emphasize drought-resistant plantings and discourage the development of extensive areas of lawn or other high water-requiring landscape.
  - 7. Avoid large expanses of bark or gravel mulch without planting.
  - 8. Screen utilities and accessory structures from view with appropriate plantings.
- B. Specific requirements:
  - 1. All areas landscaped or hardscape.
  - 2. Feature plants from Allowed Plant List – see 6.4.5 for species, minimum percentage.
  - 3. Do not plant any plants listed on the Prohibited Species List – see Section 6.4.6
  - 4. Provide a note indicating repair of damage to any HOA, Golf Course or adjacent property at homeowner expense.
  - 5. Indicate all applicable Brush management zones.
  - 6. Show that design is sensitive/compatible to adjacent properties.

7. Show that plants complement adjacent plantings & site architecture.
8. Plant symbols shall be spaced to reflect ultimate size.
9. Use long-lived plants in the lot's landscape plan.
10. Use plants that provide immediate impact.
11. Use plants that create a livable environment.

C. All Trees – Minimum tree location setbacks shall be provided:

1. Mature tree canopy – 10' from building eave, 3' from any property line.
2. Tree trunk 4' from any utility.
3. Tree trunk 10' from all fire hydrants.
4. Tree trunk 20' from all streetlights.
5. Located so that with normal growth, limb clearance of 15' over streets, 8' over bike trails and pedestrian areas is provided.

D. Other planting requirements:

1. Vines shall be secured to vertical surfaces in a permanent fashion. Any use of trellises must be approved by the DRC.
2. Ground cover 12" on center spacing, or 2" mulch (in shrub areas).
3. Grass (sod or seed) minimum 6' wide, 3' from building or wall (including side and rear wall and fences).
4. Grass minimum 2%, maximum 20% slope.

#### **6.4.2 Front Yards**

Front side yard planting areas interface smoothly with neighboring properties. Lawn edges in particular shall be aligned. Straightforward, well-organized groupings of complementary shrub and groundcover species shall be provided. No large expanses of gravel mulch without groundcover shall be provided.

A. Minimum plant installation sizes shall be provided:

1. Trees, 36" box.
2. Palms, 12-15 feet brown trunk height (BTH).
3. Shrubs - 50% of overall quantity, 15 gallon.
4. Woody shrubs - 5 gallon.

B. Minimum plant quantities shall be provided:

1. Trees - one per 25 linear feet of street or front yard setback frontage, whichever is greater. Required trees not to exceed 50 feet on center.
2. Shrubs - woody shrubs to completely cover house foundation visible from street. Locate shrubs to provide a two tiered planting.

C. Sight lines shall be maintained:

1. Shrubs within 10' of street and 5' of drives shall not have mature heights of over 3'.

D: Minimum planting areas shall be provided:

1. 3' wide minimum planting area between walks, walls and drives.
2. 5' wide minimum planting area adjacent to front side property lines, with two tiered planting.

#### **6.4.3 Rear and Side Yards**

A. Minimum plant installation sizes shall be provided:

1. Rear yard trees, adjacent to Golf Course - 36" box.
2. Rear yard trees, not adjacent to Golf Course - 24" box.
3. Side yard trees - 15 gallon.
4. Woody shrubs - 5 gallon.

B. Minimum plant quantities shall be provided:

1. Trees - one per 35 linear feet of rear property line or setback footage, whichever is greater. Required trees not to exceed 75 feet on center.
2. Trees - to break up long walls as necessary.
3. Shrubs - woody shrubs to completely cover house foundation as visible from adjacent common area. Locate shrubs to provide a two tiered planting.

C. Minimum plant areas shall be provided:

1. Side yards - 3' wide minimum planting area along all side and rear property lines.

#### **6.4.4 Slopes**

Minimum requirement for sloped areas shall be provided:

- A. County of San Diego-approved Best Management Practice such as bonded fiber matrix (hydro-sprayed) or straw blanket.
- B. Groundcover coverage must cover area within one year of planting.
- C. Slopes 5' or smaller with shrubs and groundcover per County of San Diego requirements.
- D. Slopes 5' and over with trees, shrubs and groundcover per County of San Diego requirements.
- E. Mowed grass shall not be provided for slopes steeper than 5:1.

#### **6.4.5 Allowed Plant List**

##### **6.4.5.1 In General**

The Allowed Plant List is to be utilized with the following criteria:

- A. Landscaping is to include a minimum 25% species designated for "Theme" use (all lot areas).
- B. The total quantity of plants designated as "Accent" use shall be limited to a maximum of 25% of the landscaping.
- C. Plants indicated for "Courtyard" use shall be limited to interior site locations not generally visible from adjacent properties.

The "Allowed Plant List" is contained in the Exhibits Section. It is provided as a guideline only,

and the DRC may make exceptions on a house-by-house basis. The DRC may also modify the List from time to time at its discretion.

#### **6.4.5.2 Artificial Turf**

The Crosby Estate at Rancho Santa Fe Master Association's (Association) Design Review Committee (DRC) will consider the limited installation of artificial turf within the Community due to the severe drought conditions and the need to reduce irrigation water use. Submitted landscape designs may incorporate artificial turf areas into an overall landscape composition (conforming to all other landscape guidelines) in which artificial turf does not dominate the landscape.

Any artificial turf installation without prior approval by the DRC and compliance with the following requirements is prohibited. The Association Board of Directors may impose fines on owners if installations commence without DRC review and written approval or installations do not comply with prior DRC approval.

Applications will be reviewed and variances will be considered by the DRC on a case-by-case basis.

##### **A. Location and Limitation on Use.**

Artificial turf shall be installed as a permanent improvement and shall be integral to the landscape theme of the yard.

1. Artificial turf may be installed with prior DRC approval in the front, side and back yards of residences within the Association except in cases where sub association rules control.
2. Consideration of artificial turf in the front yard is limited to areas that meet the criteria noted in these guidelines. The front yard area is defined as the portion of the property, contiguous from the street, back to the side fencing and gate return.
3. Front yards must retain a minimum of 40% of overall softscape square footage as organic plant material such as planter beds with shrubs and groundcover. The 40% of square footage excludes the hardscape areas.
4. Artificial turf shall not be used on any slopes that exceed 3 to 1 (33%) in steepness.
5. The original grade and drainage must be maintained.
6. All turf edges with a border on neighboring property shall be separated from adjoining residential and common area property lines by a suitable lawn edging, such as a planter, concrete mow curb, high-end bender board, etc.
7. Artificial turf in the rear and side yards shall be bounded by planters at property line and at the house line. Planters shall be a minimum of 18 (eighteen) inches wide.

8. Artificial turf in the front yards adjacent to the sidewalk or curbside shall incorporate a planter bed (drought tolerant plants are encouraged) to soften the edge of the artificial turf. The width of the planter bed is dependent upon the overall size of the front yard depth. The planter shall be a minimum of 24" wide, with plant material that are a minimum of 18" inches in height.

#### B. Material Requirements.

Artificial turf product specifications, warranty, installation details and product samples shall be provided that clearly indicate the quality of the product, installation techniques and proper drainage and to document compliance with the adopted standards. Artificial turf varies considerably in manufacturing quality, life, and durability. The colors of artificial turf will fade over time due to exposure to UV sunlight.

The components of an acceptable artificial turf grass system consist of a base layer, the artificial turf, and infill (rubber infill is prohibited) such as a top dressing or ballast material (required) to hold the fibers in an upright position.

##### Base Layer

1. The artificial turf product shall be installed on a base layer of compacted aggregate in order to facilitate drainage. The compaction of the granulated aggregate base material shall be at a minimum of 95% (ninety-five percent) in accordance with the Modified Proctor procedure (ASTM D1557).
2. The surface tolerance shall not exceed 0-1/4 (zero to one quarter) inch over 10 feet and 0- 1/2 (zero to one half) inch from design grade. This ensures that the original grading and drainage plan is retained.

##### Turf

1. The construction of the artificial turf shall consist of a monofilament, polyethylene fibers tufted into a fibrous, non-perforated, porous backing. Recommended product samples are available for viewing at the Association's community management office.
2. The minimal pile face weight is 60 (sixty) ounces. Total weight minimum is 80 (eighty) ounces. Like carpet, higher pile turf gives a richer more realistic appearance. The higher the face weight of the product the better the product appearance.
3. The primary backing shall be a double-layered polypropylene fabric treated with UV inhibitors. Felt backings and other water absorbing products are prohibited.
4. The secondary backing shall consist of an application of porous, heat-activated

urethane to permanently lock the fiber tufts in place. Hot melt polyolefin coating or coated polyurethane with perforations with certified minimum drainage of 30" per hour is required.

5. Fibers shall be tufted into a primary backing with a secondary backing.
6. The turf shall be 100% permeable. Water needs to drain through the product. Some products have holes in the backing to allow water to drain through the product. The problem with holes is that they become clogged over time. Products shall have completely permeable backings so that drainage through the turf is uniform and complete.
7. The fiber shall be minimum 8,000 (eight thousand) denier, low friction, UV-resistant fiber, measuring not less than 1.6 inches high (excluding putting greens). The use of heat reduction technology is highly recommended.
8. Grass blades shall be of multiple color blends (minimum of two hues) that consist of green hues in addition to brown thatch. Grass blades shall not contain blue hues. No flat blades are allowed.
9. Matte finish grass blades are required for front yards.
10. For fewer seams, fifteen (15) foot wide fabric rolls minimum must be used.
11. Turf manufactured with nylon typically incorporates lead into the manufacturing process to keep color from fading. Avoid any material, including infill products that use lead or any other heavy metal materials. Therefore the artificial turf shall be lead free and toxic chemical free and meet all of the requirements of the State of California Proposition 65. Artificial turf installations that do not meet these requirements shall not be permitted.
12. The artificial turf product must have a minimum 8-year warranty at time of installation.

#### Infill Material

1. Once the artificial turf is installed, infill is used to make the turf stand up. Infill material (required) shall comply with the manufacturer's requirements but be no less than a controlled mixture of graded sand, 20 (twenty) grit dust-free silica sand, or acrylic coated sand placed at 2-3 (two to three) pounds per square foot.
2. Dark silica sand (or silica sand with dark acrylic coated sand top dressing) is preferred, and may be required, for example, at certain slope grades in front yards. Rubber infill is prohibited.

### C. Installation Requirements.

1. The installation shall be performed by qualified/trained personnel or a California Licensed Contractor with a C-27 or C-61/0-12 classification and shall meet or exceed all the minimum requirements set forth by all local, state and county building code requirements.
2. Installation shall be in accordance with Manufacturer's instructions. Infill materials shall be approved by the Manufacturer and installed in accordance with the Manufacturer's standard procedures.
3. When artificial turf is installed, sprinklers are turned off. This will have a negative impact on existing trees. Owners need to make sure that trees have a source of water.

### D. Maintenance.

- I. Artificial turf, like real turf, requires regular maintenance. Organic matter such as leaves shall be regularly removed. Debris and animal waste shall be regularly removed and the turf shall be hosed or washed off in order to eliminate odors. Raking of the turf and replenishing of infill (rubber infill is prohibited) such as a top dressing or ballast material shall occur as recommended by the manufacturer or as required for the turf to maintain a "natural" look.
2. Maintenance shall occur at regular intervals based on manufacturer's recommendation.
3. Owner agrees to repair or replace artificial turf to address damage or significant fading.
4. Artificial turf will be inspected annually after the expiration of the warranty period to ensure the aesthetic properties are maintained. The DRC reserves the right to require replacement after the warranty has expired.

### E. Application Requirements and Process.

All requests for the installation of artificial turf shall be accompanied by a landscape plan that clearly delineates the location and area, in square feet, of the total artificial turf area. The plan shall include all other landscape areas and all other proposed improvements, including existing trees within the proposed artificial turf area.

1. Owner shall submit the following:
  - a. A completed Design Review Application with applicable fee(s). Applications will be reviewed on a case-by-case basis.

- b. Plans must be submitted per standard community landscape submittal requirements. Plans must clearly delineate all landscape areas and artificial turf areas. A plan view (min. 1" = 10'-0 scale) of the area including: All property lines, footprint of the residence, street and or sidewalk (if appropriate) adjacent hardscape including driveway and adjacent planting beds. Plan must be 10 scale or larger, include north arrow and scale. A current landscape plan may be used as a base sheet with a trace overlay of proposed artificial turf area.
  - c. Contractor's bid with complete product specification sheet(s) from manufacturer including warranty to confirm that all requirements are met.
  - d. A required sample of the artificial turf to be used measuring at least 12"x12" inches. Include product model name and style.
2. Final approval will require an inspection by the DRC to verify compliance with these design guidelines and installation quality.

#### **6.4.6 Prohibited Species**

The DRC reserves the right to reject any plant material deemed unsuitable by them or their consultants.

##### A. Landscape Selection.

The Habitat Management Plan and the CC&R's contain restrictions on the types of landscaping that can be planted within The Crosby. In order to protect against the spread of invasive, exotic plant species into protected habitat areas, the Habitat Management Plan prohibits planting any of the plants or trees listed in the Prohibited Plant List in the Exhibits Section anywhere within The Crosby. In addition to complying with the requirements of the Habitat Management Plan, CC&R's and, if applicable, the Custom Lot Declaration, your landscape plans must meet the requirements of the Fire Management Plan that has been prepared for The Crosby development. **The Fire Management Plan contains over 20 pages of guidelines for landscape planting in fuel modification zones, as well as a list of undesirable plants. Because the Fire District must approve your landscape plans, compliance with these guidelines is essential.** You and your landscape architect must refer to the applicable sections of the CC&R's, the Custom Lot Declaration, the Fire Management Plan, and the exotic plant list below in connection with the design of your landscape plans. As noted earlier in these DESIGN GUIDELINES, landscape lighting must not be directed into open space areas or into the sky.

##### B. Date Palms.

Date palms and other prohibited species, as defined in these DESIGN GUIDELINES, which currently exist within the Crosby are not to be replaced in kind when removal is required due to disease or other cause. Replacement planting shall be from the Allowed Plant List in these DESIGN GUIDELINES.

The DRC will consider exceptions to the above on a case-by-case basis. Replanting with the original species may be allowed where the DRC finds that the particular species is critical to maintaining the aesthetic quality of the particular location and is beneficial to the community at large.

The Prohibited Plant List is contained in the Exhibits Section.

### ***6.5 Fire District Approval – Brush Management***

The Rancho Santa Fe Fire Protection District must approve all landscape plans prior to DRC review and approval. The Fire District presents numerous design considerations relevant to site design and landscaping, including driveway and patio locations, fireplaces and fire pits, trellises and wood construction, tree placement, and other planting. Early review of landscape plans by the Fire District is encouraged as its requirements must be integrated into the plan by the design professional along with these Design Guidelines. The Fire District requirements are not a basis for non-conformance with these Design Guidelines.

### ***6.6 Site Improvements***

Perimeter site walls and fences should integrate adjacent properties. Patterned brickwork, decorative wrought iron, tile inserts, and wood-timbered construction are to be incorporated into the landscape site elements. Exposed metal and concrete construction finishes are generally prohibited, although the DRC will consider special circumstances (such as Rancho Santa Fe Fire Protection District restrictions on flammable structures) as an exception, rather than the rule.

Conform to Chapter 4, Building Materials and Features, including Sections 4.5 (Walls & Fencing), 4.2.4 (Balconies) and 4.4.7 (Trellises & Patio Structures). Landscape structures shall be limited in height to 8' to the underside and an overall maximum height of 10'. Taller structures located within the building setbacks and all solid roof structures will be reviewed per building addition architectural guidelines.

- A. Provide small-enclosed gardens.
- B. Incorporate fountains.
- C. Walls, fences compatible w/ architecture with gates to match.
- D. Maximum wall fence height 6'
- E. Trash screened from street view. Provide opaque gates, walls or inside garage storage as required.
- F. Acceptable finish materials of brick, stone, tile, stucco, decorative iron, wood trellises and gazebos.
- G. Acceptable paving materials of stone, exposed aggregate, unit pavers, stamped concrete, brick stone, terrazzo, decomposed granite.

*Hardscape Plan* - indicate all non-living landscape construction including driveways, patios, walks, walls, fences, pools, trellises, etc.

- A. Provide an overall landscape character consistent with The Crosby Community Landscape Character and rural Rancho Santa Fe heritage.
- B. All materials of the quality and appropriateness, and integral to house

- C. No metal finishes
- D. Clearly delineate existing and new construction, including existing walls and fences.
- E. Indicate all materials and finishes.
- F. Provide placement and heights of fences and walls (including retaining walls).
- G. Walls and fences coordinated with neighboring homes.
- H. Trellises, arbors and gazebos; indicate height in relation to adjacent ground and original pad elevation with an overall maximum height of 10'.
- I. Air conditioning/heat pump condenser units located behind screening wall or where not visible from front yard areas (not permitted on roofs).
- J. Trash, other storage areas and utilities located behind screening wall or where not visible from front yard areas.
- K. Adequate detail and specification provided to fully explain the design and construction.

### ***6.7 Soil Preparation***

After completion of rough grading and prior to soil preparation, the homeowner shall initiate the testing of planting soils by an independent agronomic soils testing laboratory (member of the California Association of Agricultural Labs). Representative soil samples shall be taken in the field and a written report shall be prepared by the agronomist and shall include recommendations for soil amendments and application rates for soil preparation fertilization, planting backfill mix, hydro mulch slurry, and auger hole requirements, and a post-maintenance fertilization program.

#### **6.7.1 Submittal Requirements**

##### **A. Guest Builder – Landscape Only**

###### **1. Soil Testing and Amendment Performance Specifications.**

Specify agricultural soil analysis to be taken prior to construction with copy provided to DRC. Specify amendments to be applied and incorporated to all landscape areas per analysis recommendations.

##### **B. Custom Residential – Landscape Only**

###### **1. Soil Testing and Amendment Performance Specifications.**

Specify agricultural soil analysis to be taken prior to construction with copy provided to DRC. Specify amendments to be applied and incorporated to all landscape areas per analysis recommendations.

### ***6.8 Drainage and Grading***

All residences shall provide on-site drainage system to collect and route surface and roof runoff to an approved outlet. Lot drainage must NOT be changed unless approved by the County of San Diego and the DRC. Final grading shall provide a minimum 2% slope in all landscape areas away from structures, adjacent properties and common areas.

Drainage shall outlet to public streets or right of way in a manner approved by the DRC, which may provide an outlet detail for use. Curb cores are prohibited, given the low profile rolled curb utilized throughout The Crosby. Concentrated flow should be avoided by providing a small outlet apron. Drain outlets and aprons should be integrated into the landscape utilizing rock,

cobble, brick or other DRC approved materials. Pop up closures should be provided only if flat grades indicate standing water is expected in drain lines. If a previous builder mistakenly provided a curb core, it shall not be larger than 2 inches maximum diameter due to the 4" rolled curb. The homeowner shall be responsible for replacement of cracked or damaged curb.

Drainage shall be maintained during construction. See "Curb Outlets" in the Exhibits Section. Brow ditches shall be maintained as existing, including allowance for HOA maintenance access as existing. Any connection or discharge into an existing brow ditch shall be per County Regional Standard drawings or detailed by a licensed Civil Engineer.

Precise grading plans shall be provided wherever proposed existing site elevations are to be modified, including but not limited to raised patios, pools and spas, etc. Grading shall be based upon the original pad-grading plan. Mounding and slopes shall be indicated by contour and slope elevation. Provide most recent approved grading plan attained by the County of San Diego.

Submittal Requirements:

- A. Guest Builder – Landscape Only
  - 1. Drainage and Grading Performance Specifications.
- B. Custom Residential – Landscape Only
  - 1. Drainage and Grading Plan.

## LANDSCAPE DRAINAGE AND GRADING

- A. Submittals include:
  - 1. Proper format
  - 2. Custom Residential – Complete Drainage and Grading Plan indicating surface patterns, inlets, line layout, outlets, details, and specifications.
  - 3. Guest Builder Landscape Only – Drainage and Grading Performance Specifications, outlet located.
- B. Design and specifications:
  - 1. Landscape drainage provided, including surface drainage pattern, inlet locations and elevations, and outlets.
  - 2. No drainage onto adjacent property and/or common area.
  - 3. 2 % minimum.
  - 4. Approved outlets per these DESIGN GUIDELINES. See "Curb Outlets" in the Exhibits Section.
  - 5. Elevations indicated for proposed construction.
  - 6. Topography indicated appears consistent with current approved grading plan.
  - 7. Mounding and grading indicated by contour and elevation.

### ***6.9 Irrigation Guidelines***

All residences must have an automatic irrigation system providing coverage to all landscape

areas of the property. The primary concern in the system's design shall be efficient watering of the landscape for the health, growth and maintenance of the plants. All residences shall specify appropriate zoning of irrigation by station as to plant type, orientation, slope, etc., and the avoidance of spray and runoff over property lines, buildings, drives, patios, walks, walls, fences, etc.

Systems shall provide efficient, long lasting equipment, uniform application of water and simplicity of operation. The irrigation system is to be considered a functional utility of the landscape, reflecting the environmental needs and conformation of the planting and structural design. Sprinkler heads, spacing, valving and the programming controller shall reflect varying environmental conditions such as: sun and shade, orientation, soils, terrain, percolation rates, moisture sensing, erosion control and wind.

The irrigation design must be tailored to the type of plantings proposed. The arrangement of plants requiring unlike moisture requirements is not acceptable. In the spirit of conservation, plant materials requiring minimum amounts of water for proper growth are encouraged. Low precipitation heads and drip irrigation are encouraged to assist in water conservation and erosion control.

Any existing CEMA, DEVELOPER, Golf Course or adjacent property owner irrigation systems disturbed during the course of new construction shall be adjusted and or repaired to meet the standards of the original system at the constructing lot owner's expense. Any modification of the Master Association irrigation systems shall be made through the direct consultation of the project landscape architect and the DRC. The landscape architect shall submit complete data, as required, to receive approval.

All submittals shall provide an irrigation plan indicating the irrigation system water point of connection, mainline routing, control valves, automatic controllers, and automatic rain shut off device. Custom residential submittals shall include complete irrigation plans, details, and specifications. These plans shall indicate individual irrigation head and lateral line layouts, with the entire system provided per the performance specifications below. Guest builder Landscape Only submittals may provide the performance specification in lieu of detailed lateral line and head layouts.

#### Irrigation System Performance Specification:

- A. Provide a completely functional automatic irrigation system consistent with local codes, specific site conditions and current industry standards.
- B. Irrigate all planting areas uniformly while minimizing overspray onto property lines, buildings, drives, patios, walks, walls, fences, etc.
- C. Provide an automatic controller and rain shut off in inconspicuous locations.
- D. Provide pressure regulation and backflow prevention, locating above-grade equipment out of view from public streets, or where not so allowed by code, in planting areas screened by shrubs. Install no vacuum breakers where visible from the street. All above grade equipment must be behind a solid screening wall. One compact design backflow preventer may be located in a front yard shrub area and screened by shrubs.
- E. Provide separate lateral systems for lawn and shrub/ground cover areas, planting areas of varying orientation, and slopes.
- F. Install all piping below grade.

- G. Provide no riser heads within 5' of walks, drives, other paving, pedestrian use or turf areas.
- H. Provide no heads of radius over 15' adjacent to streets and sidewalks.
- I. Provide check valves as needed to prevent low head drainage.
- J. Repair and replace, and adjust as necessary, any CEMA, DEVELOPER, Golf Course or adjacent property owner's irrigation damage at homeowner expense.

#### Submittal Requirements

- A. Guest Builder – Landscape Only
  - 1. Irrigation Performance Specifications.
- B. Custom Residential – Landscape Only
  - 1. Complete irrigation plans indicating individual heads and lateral line layouts, details, and specifications.

#### IRRIGATION PLAN

- A. Submittals include:
  - 1. Proper format.
  - 2. Custom Residential – Complete irrigation plans indicating individual heads and lateral line layouts, details, and specifications.
  - 3. Guest Builder Landscape Only – Irrigation performance specifications.
  - 4. Water point of connection.
  - 5. Mainline routing.
  - 6. Control valves.
  - 7. Automatic controllers.
  - 8. Automatic rain shutoff device.
- B. Design and specifications:
  - 1. Automatic irrigation system.
  - 2. Irrigate all planting areas uniformly.
  - 3. Minimize overspray.
  - 4. Appropriate zoning.
  - 5. Tailored to the type of plantings proposed.
  - 6. Efficient, long-lasting equipment.
  - 7. No arrangement of plants requiring unlike moisture.
  - 8. Provide pressure regulation and backflow prevention, out of view.
  - 9. No vacuum breakers where visible from the street.
  - 10. Separate by lawn and shrub/ground cover, orientation, and slopes.
  - 11. All piping below grade.
  - 12. No riser within 5' of walks, drives, other paving, pedestrian use or turf areas.
  - 13. No heads of radius over 15' adjacent to streets and sidewalks.
  - 14. Provide check valves as needed to prevent low head drainage.
  - 15. Repair and replace, adjust as necessary any HOA, Golf Course or adjacent property irrigation damage at homeowner expense.

## ***6.10 Landscape Lighting***

All exterior lighting shall be reviewed and approved by the DRC. Light should be used to emphasize and accent feature trees, architectural elements and the path of entry to a home. Flood lighting of homes, walls and exterior spaces should be avoided. Lighting should minimize nuisance light to adjacent properties and conform to the County of San Diego Dark Sky Ordinance.

Lighting design concepts should create ‘pools of light’ emphasizing access notes and paths, trees, landscape features and fountains. Lights should be focused to core yard areas, leaving darker side perimeters between homes.

Exterior lighting fixtures must be compatible with the architectural design of the residence they serve. Straightforward, understated fixtures are generally preferred. In most applications, lighting effects can be provided without prominent fixtures. Lighting controls and equipment shall not be visible from the street.

### ***6.10.1 Landscape Lighting Plan***

- A. Lighting directed at architectural or landscape feature. Up lights must be located directly beneath and aimed at a tree canopy. Wall washing is prohibited unless plant shadows cover over 50% of the lighted wall. Narrow spread spot lights may be used to accentuate features such as fountains and statuary.
- B. Unshielded lighting avoided.
- C. Property perimeter lighting avoided.
- D. Eave-mounted security lighting avoided.
- E. Landscape light fixtures located and specified, including manufacturer, model, lamp wattage, dispersal pattern and object of illumination. Solar powered lights are generally not acceptable.
- F. Fixture style, finishes, and color consistent with architectural character of house
- G. Fixture finish, appearance and location unobtrusive.
- H. Landscape lighting control mounting location indicated, and unobtrusive
- I. Conforms to County of San Diego Dark Sky Policy

## ***6.11 Temporary Landscape – Guest Builder***

Under hardship cases, temporary landscape may be installed. An application must be filed with the DRC as required in these DESIGN GUIDELINES. The hardship determination is made by the DRC. If temporary landscape is permitted, permanent landscape must be ultimately installed. In the event that hardship is found to exist, extension applications may be filed with the DRC every six months.

### **Specific Design Criteria:**

1. The entire front yard (from street to house & side yard fences, property line to property line) is to be landscaped temporarily.
2. Temporary landscape shall consist of grass or other living groundcover, with a minimum of either one tree (36” box) or 2 trees (24” boxes) from the Allowed Plant List. Seeded lawn is allowed if satisfactorily established within 60 days of installation.

3. Irrigation on an automatic timer shall be provided.
4. If power is not available, 2 solar powered or battery-operated controllers shall be provided.
5. Irrigation shall be permanent and below grade per the standards in these DESIGN GUIDELINES.

### ***6.12 Artwork, Sculptures, Fountains and Exterior Accessories***

All visible exterior artwork, including, but not limited to, sculptures, fountains and exterior accessories, e.g., benches and pots, are subject to review and approval of the DRC prior to installation. Homeowners must submit Residential Design Review Applications along with photos of the proposed installation.

Visible exterior artwork is artwork installed outside of a homeowner's residence that can be seen from a neighbor's yard, the common area or the golf course or other public area. Visible exterior artwork must complement the landscape, but may not dominate it. It must not conflict with the architectural style of the residence or the community. DRC review will include, among things, subject matter, placement, number of pieces, finish, color and reflectivity.

If the exterior artwork is not visible from any area outside of the homeowner's property, DRC review is not required. However, in this case, it is the responsibility of the homeowner to determine and comply with any applicable Fire District, or other agency, rules and regulations.

### ***6.13 Maintenance***

After the installation of all landscaping, a maintenance program must be implemented. A ninety (90) day maintenance program by the installing contractor prior to accepting the contractor's work is required to ensure correct installation and satisfactory plant health. Problems such as irrigation adjustment and related plant failure shall be corrected within this period.

Landscape features, including lawns, shrubs, trees, and ground covers will require regular mowing, trimming, pruning and fertilization. It is recommended that the maintenance contractor perform soils testing and analysis on an annual basis to determine soil fertility, pH balance or toxic conditions and adjust the fertilization program as necessary to remedy any nutrient deficiencies.

The landscape shall be maintained in a first-class condition. Maintenance shall include:

- A. Mowing and edging of turf grass
- B. Watering as required for proper plant growth
- C. Fertilizing
- D. Weed control
- E. Trimming of trees and shrubs.
- F. Programmed replacement of seasonal color
- G. Pest and gopher control (it is imperative that the homeowner does not allow gophers/animals tunneling on slopes). If allowed, slope failure can occur.

During the maintenance period, the entire project shall be inspected weekly. The irrigation timing and coverage shall be checked and adjusted if necessary during the germination period. All planted areas shall be kept neat and clean and free of all clipping, debris and trash. Subsurface drains shall be periodically flushed with clean water to avoid build up of silt and

debris. All drain inlets shall be kept clear of leaves, trash, and other debris. All paved areas shall be kept free of trash, debris and silt.

Before final acceptance, all filters and irrigation heads shall be cleaned. Valve boxes and sprinklers shall be adjusted to heights required in relation to finish grade. Turf shall be mowed, edged and weeded, and clipped around sprinklers, valve boxes and trees. All plant material not showing vigor or that has been damaged shall be replaced.

The permanent maintenance responsibility shall be the homeowner's, except where CEMA maintenance easements are located on the property. The responsible maintenance provider should be clearly indicated on the landscape submittals for all areas of the site.

### **6.13.1 Maintenance**

- A. 90 day by installation contractor
- B. Permanent responsibility note.

## ***6.14 Fee, Deposits and the Review Process***

### **6.14.1 Guest Builder – Landscape Only**

The following review process shall be utilized for landscape-only project types:

- A. Construction of any improvement, including landscaping, may not begin until the DRC has approved plans depicting the proposed improvement, receipt of a \$1,000.00 security deposit, acknowledgement of the Contractors Manual and attendance at a pre-construction meeting with DEVELOPER.
- B. It is the owner's responsibility to keep his lot weed free and in compliance with the State Storm Water Pollution Prevention Program (SWPPP) before and after landscape improvements have been installed.
- C. No later than six (6) months after the close of escrow, the owner must submit detailed plans, and a completed residential landscaping design review application including neighbor's signatures to the DRC. No plan reviews shall be conducted until escrow has closed.
- D. A completed application with neighbor sign off is required to notify adjacent residents and property owners of pending construction. A neighbor's objection does not in itself cause denial of an application; however, the DRC may contact neighbors to consider their objections, if necessary.
- E. The DRC has established a non-refundable review fee of \$1,500.00 to pay a licensed landscape architect to review submittals and provide professional advice and recommendations. Please make a check payable to The Crosby Estate Master Association.
- F. The DRC has established a refundable security deposit of \$1,000.00. The deposit is to assure proper construction and conformance to the approved drawings, compliance with Storm Water Pollutants and Prevention Program, (SWPPP), and repair of any damage to HOA common areas, including but not limited to streets, curb and gutters, utilities, meter

boxes, HOA landscape easements, lots or parcels or damage to Golf property caused by the lot owner or their contractor(s), or agents in the construction of the improvements on the owner's lot. Please make a check payable to The Crosby Estate Master Association.

- G. The plans, application and check should be mailed or delivered to The Crosby Master Association in care of the MANAGEMENT COMPANY.
- H. Deviations from the DRC-approved plans are not allowed without re-submittal, DRC review and approval. Unapproved installations and changes noted during DRC or other field review may require removal and restoration to approved plans at the individual property owner's expense.
- I. Homeowners will not be allowed to start any construction, including swimming pool, spa, flatwork etc. without final approved landscape plans. No exceptions.
- J. Homeowners will not be allowed to start any construction without first scheduling a pre-construction meeting with DEVELOPER. The purpose of the pre-construction meeting is to review and document the condition of the existing site and adjacent HOA common area improvements including but not limited to the condition of the streets, curb and gutter, utilities, meter boxes, SDG&E transformers, HOA landscape easements and lots, as well as adjacent Golf properties. Existing damage to any common area improvement must be noted during the pre-construction meeting prior to the owner starting construction. It shall be the homeowner's responsibility to schedule the meeting. Damage to common area improvements reviewed during the final inspection but not observed during the pre-construction inspection shall be deemed caused by the homeowner's construction and shall be the responsibility of the homeowner to repair at their expense.
- K. In order to schedule a final inspection, the owner shall submit a final as built record drawing to the DRC upon completion of the work. A request for final inspection will be denied until receipt of the as built record drawing. The as built drawing must represent the final as built condition of the improvements, including any material changes from the original DRC and Rancho Santa Fe Fire Protection District approved drawings. Revisions that must be recorded include but are not limited to trees, shrubs, fountains, walls, fences, sidewalks and paths, driveway improvements, trellis, BBQ centers, patios, irrigation, drainage, grading and site furnishings.
- L. Within ten working days of receipt of the as built record drawing, the DRC shall schedule a final inspection with the owner. If the site conditions and as built record drawings are in conformance, the DRC may approve the final inspection and refund the security deposit. If damage to the common area improvements are observed during the final inspection that were not observed at the pre-construction meeting, the owner is responsible for repair of the items noted. The owner shall have the option to repair the damage at their expense and schedule a re-inspection, or the owner may elect to have the HOA repair the damage and deduct the cost of the repair from the security deposit. If cost of repair is greater than the security deposit, the HOA may invoice the owner for the difference. If the owner elects to perform the repair, the work must be to the original

standards and specifications previously installed.

***6.14.2 Custom Residential – Landscape Only***

Custom Residential projects are to be submitted and reviewed per the Design Review Procedure and Requirements chapter of The Crosby DESIGN GUIDELINES.

***6.15 Landscape Completion Inspection***

Upon notice of completion (per the Design Review Procedure and Requirements chapter of The Crosby DESIGN GUIDELINES), a DRC representative will schedule a site landscape review to determine conformance with the approved plans.

The DRC will not approve changes during the final inspection.

# THE CROSBY

## AT RANCHO SANTA FE

### Chapter 7

### Design Review Procedure & Requirements

## ***7.0 Architectural Review Procedure***

The DRC shall only review, approve and or disapprove submitted plans and specifications as to style, design, appearance, location and compliance with the provisions set forth in these DESIGN GUIDELINES and requirements included within the CC&R's for The Crosby. The DRC shall not be responsible for reviewing and or approving any improvement plans and specifications for engineering design, structural engineering, safety, geotechnical considerations or for compliance with applicable zoning, grading, building, fire, or other county, state, or federal laws, ordinances, policies or codes.

In addition to obtaining all necessary approvals from the DRC as set forth in these DESIGN GUIDELINES, each owner is obligated to obtain all necessary governmental approvals and to prepare plans and specifications in accordance with all applicable governmental laws and regulations affecting the use of the lot and the improvements constructed on it.

By way of illustration, but without limitation, submissions to the DRC for approval are required for the following improvements:

Additions to any home or appurtenance of any kind or type to a lot, including, but not limited to, homes, non-habitable accessory buildings, shade structures, patio covers, awnings, barbecues, walkways, sprinkler pipes, drainage devices, garages, swimming pools, spas, recreational facilities, gazebos, game courts, roads, driveways, parking areas, fences, screening and shrubs, poles, signs, mailboxes, exterior air conditioning, solar panels, satellite dishes, water softening fixtures and mechanical equipment. Improvements shall also include but not be limited to: (a) additions and/or exterior modifications to any lot or home thereon, (b) painting of the exterior of any home or other structure, (c) changing the roofing material or garage door on any home or other structure, (d) demolition or destruction of the home or other structure, (e) grading, excavation, filling or similar work to the surface of the lot, and (f) landscape improvements.

### **7.0.1 Basis for Approval of Regulated Improvements**

When a proposed regulated improvement is submitted to the DRC for review, the DRC shall grant the requested approval only if, in its sole discretion, it makes the following findings regarding the proposed project:

- A. The owner's plans and specifications conform to the CC&R's, the Custom Lot Declaration (if applicable) and the DESIGN GUIDELINES in effect at the time such plans are submitted to the DRC or that the plans and specifications conform subject only to such variances as have been duly approved pursuant to Section 8.11 of the CC&R's.
- B. The regulated improvement will be in harmony with the external design of other structures and/or landscaping within The Crosby, particularly in relation to other structures and improvements proposed or existing on the lot that is the subject of the application.
- C. The regulated improvement, as a result of its appearance, location or anticipated use, will not interfere with the reasonable enjoyment of any other owner of his or her lot or dwelling or the interest of The Crosby Club.

- D. The regulated improvement(s), if approved, will otherwise be consistent with the architectural and aesthetic standards prevailing within The Crosby and with the overall plan and scheme of development within the Specific Plan and the Community DESIGN GUIDELINES.
- E. Without limiting the foregoing, the exterior elevations of any structures (including fencing) and rear yard landscaping improvements for any lot located adjacent to any Golf Course fairway must be approved by the representative of the Golf Course owner serving on the DRC, which approval shall not to be unreasonably withheld.

Although the DRC's determination will, by its very nature, be subjective to some degree, the members of the DRC shall act reasonably and in good faith and shall consider such factors as the quality of workmanship and materials proposed for the regulated improvement project, the harmony of its exterior design, finished materials and color with that of other existing structures, and the proposed location of the regulated improvement in relation to the existing topography, finished grade elevations, roads, common areas and other existing structures. The DRC shall also be entitled to determine that a proposed improvement or elements thereof is unacceptable when proposed on a particular lot, even if the same or similar improvements or elements have previously been approved for use at another location if factors such as drainage, topography, noise or visibility from roads, common areas or other lots or prior adverse experience with the product, the design or similar regulated improvements provide a reasonable basis for denial of approval for the regulated improvement or use of a particular element thereof on the lot involved in the owner's submittal. Conversely, as a result of similar considerations, it is possible that the DRC may approve a regulated improvement or element that was denied approval when submitted or proposed for use, construction or installation at another lot within The Crosby. In approving a request for construction of a regulated improvement, the DRC may condition approval upon the adoption of modifications in the plans and specifications or observance of restrictions as to location noise abatement or similar mitigating conditions.

## ***7.1 Architectural Approval & Inspection Process***

### ***7.1.1 Requirement of a Pre-Design Meeting/Workshop***

Prior to preparing and submitting to the DRC any plans and specifications relating to: the items listed in Section 7.0 of this article, the owner shall first contact the DRC and arrange a pre-design meeting. The purpose of this requirement is to permit the owner and the members of the DRC to inspect the lot, identify any particular features of the lot that may influence the approval being sought, and to avoid the owner incurring substantial expenses for architects, engineers, or other design professionals for regulated improvements that are not likely to be approved by the DRC or that will only be approved with substantial modification in the design or placement of the proposed regulated improvements. Lot owners are encouraged to bring photographs and images, which will help the DRC to understand the design intent for the home. The lot owner may bring an architect to meet with the DRC to review applicable sections of the DESIGN GUIDELINES. Architects are expected to review the DESIGN GUIDELINES prior to the meeting and to be prepared to ask questions concerning the criteria outlined in the text. In addition, at the pre-design meeting/workshop the lot owner must supply the DRC with the resume or other evidence

of the architect's qualifications and experience.

The pre-design/workshop is also a time for the lot owner's architect to present his or her preliminary design to the DRC, who will then determine if the architect is meeting the requirements of these DESIGN GUIDELINES. See "Preliminary Plan Review Submittal Checklist" in the Exhibits Section. The meeting will be limited to one hour, so it is imperative that the owner and architect be prepared. All drawings may be on tracing paper. Preliminary plans should include the following:

- A. Preliminary Plot/Site Plan, scale 1" = 10', minimum
  - 1. Provide building envelope, lot and building footprint criteria,
- B. Preliminary Floor Plans, scale 1/8"=1'-0" minimum
  - 1. Provide building square footage
  - 2. Provide appurtenant structure locations
- C. Preliminary Elevations and Sections, scale 1/8"=1'-0" minimum
  - 1. Provide boards mounted with images depicting the design of all parts of the home exterior.
  - 2. Provide all exterior elevations
  - 3. Two (2) sections of all proposed homes with building envelopes in all directions.
- D. Preliminary Roof Plan, scale 1/8"=1'-0" minimum
  - 1. Provide roof footprint, identify height to top of roof, pitches, slopes, and ridges.
  - 2. Identify roofing material.
- E. Design Review Application and Review Fee

The pre-design meeting/workshop is not a plan check. It does not include review of geotechnical considerations. Its purpose is to clarify design issues, answer questions and verify the intent of the DESIGN GUIDELINES. Unless otherwise approved by the County of San Diego and the DRC, the architect, engineer and landscape architect must comply with the setbacks established in County Ordinance #8627, as amended from time to time. The DRC will not check every setback line and requirement until they have received a complete set of plans for the Schematic Design Submittal. Approval of design direction during concept review does not preclude the DRC from regulating setbacks and other matters that will be checked during the schematic design submittal.

### **7.1.2 Schematic Design Submittal**

Five (5) sets of plans and specifications for the proposed regulated improvements (including landscape improvements) shall be submitted to the DRC by personal delivery or first class mail addressed to the Secretary of the Association or the Chairperson at the principal office of the Master Association's MANAGEMENT COMPANY.

The DRC has the authority to change the plan submittal address.

See "Schematic Design Plan Review Submittal Checklist" in the Exhibits Section. The design submittals must be prepared to scale and are to include all of the following:

Plot Plan: Minimum Scale 1/8": 1'-0"

- A. Show lot lines accurately, including length, angles, and amount of curve.
- B. Show all homes, structures, fences, walks, setbacks, sidewalks, slopes, and street right-of-way contiguous to the lot.
- C. Show all dimensions on work to be considered, distances between existing and proposed work, and distances between proposed work and property lines.
- D. Show required building envelope setbacks.
- E. Summarize the square footage of all structures including the first floor, second floor, garage, basement, attic, the building envelope and the lot.
- F. Show major architectural details.
- G. Provide the Architects wet stamp and signature.

Schematic Grading and Drainage Plan: Minimum Scale: 1" = 20'

Show existing screened contours and proposed changes to finished grade, drainage concept plan, drain lines and downspout points of connection. (Note: Existing contours have been certified by a licensed surveyor retained by the DEVELOPER).

SWPPP and Notice of Intent (NOI) Compliance:

In conjunction with the grading and drainage plan, an erosion control plan in conformance with County SWPPP standards and a copy of the Notice of Intent, (NOI), filed with the State Water Resources Board, must be provided.

Geotechnical Report:

Include a geotechnical review, by a geotechnical consultant, of the preliminary grading plan and proposed improvements, and provide preliminary geotechnical design parameters.

Landscape Plan: Minimum Scale: 1/8": 1'0"

To include fences, walls, house numbers, mailboxes, trellises, arbors, gazebos, trees, irrigation, drainage, solar, lighting, slope stabilization, grading, gamecourts, pools, pool equipment, and mechanical equipment as planned. In addition, the landscaping plan must identify all plant types and size and should be consistent with the landscape standards set forth in these DESIGN GUIDELINES. The landscape plans should also include a construction plan showing hardscape and flatwork improvements, and the Landscape Architects wet stamp.

Roof Plan: Minimum Scale: 1/8": 1'0"

- A. Show plan of all proposed roofs with slope pitches and ridge heights above finished grade elevation.
- B. Show materials of all proposed roofs.
- C. Indicate any unusual conditions or construction resulting from this work.

Floor Plan: Minimum Scale 1/8": 1'0"

- A. Indicate all walls, doors, columns, openings, and any conditions or feature that will affect the exterior design of the home.
- B. Scale accurately all items and parts of plans and details, including balconies, decks,

atriums, carports, garages, storage buildings, square footage of total living area of home, garage and ancillary structures, pools, recreation areas, patio covers.

- C. Include notes on all exterior items that cannot be clearly noted on the elevations.

Elevations: Minimum Scale: 1/8": 1'0"

- A. Provide exterior elevations to scale of all proposed structures. All horizontal elevation points must be shown on the elevations (e.g., ridgelines, balconies, and terraces).
- B. Elevations must be drawn with realistic (true to scale) shadows.
- C. Elevations must be accompanied with a trace overlay of landscaping using the actual style and shape of the plant material proposed.
- D. All finish materials, colors, and textures should be identified.
- E. The building envelope of the proposed home and ancillary structure for all elevations must be shown.

Sections: Minimum Scale 1/8": 1'0"

- A. Provide two (2) site and building sections. The sections should be located perpendicular to each other.
- B. All horizontal elevations should be identified.
- C. All setbacks should be identified.

Exterior Colors and Finishes:

All colors and materials must be presented on a sample board and on an elevation sheet. The sample or elevation sheet must clearly indicate which color(s) and material(s) and finish(s) will be used on each portion of the home. All colors and materials shall be identified with a manufacturer's name and list number. Paper color chips will not be accepted. A sample of the roofing material must also be provided.

The DRC may, at its discretion; request that a four (4) foot wide by eight (8) foot tall mock-up be built that illustrates typical fascia, window and door treatments, and colors and materials.

Fence, Wall and Gate Plans:

Drawings must include specifications of materials, color, and height. Heights should also be shown in relation to adjacent ground structures.

Perspective, Isometric, or Rendering:

A minimum of one perspective drawing is required that may help the DRC to better understand the proposal. The DRC will decide which orientation should be developed into a perspective drawing. That information shall be provided to the owner and their architect during the pre-design conceptual workshop.

Within thirty (30) calendar days after the complete submission of plans and specifications satisfying the requirements of this chapter, the CC&R's, and if applicable, the Custom Lot Declaration, the DRC shall return one set of such plans and specifications to the owner-applicant, with either written notice of approval or disapproval or with written suggestions of changes required for approval. Failure by the DRC to act within this thirty (30) day period will constitute a denial of the submittal. In the event of a denial due to non-action by the DRC, the homeowner

may request by mail formal notification of the status of his or her submittal. Failure by the DRC to act within thirty (30) days of the DRC's receipt of the request for formal notification of the status of the submittal will constitute an approval of the submittal.

If written suggestions of changes required for approval accompany the returned set of plans, the applicant may implement such changes to the plans and within thirty (30) calendar days (or such longer period as may be agreed between the DRC and the owner-applicant) resubmit plans incorporating such changes for approval to the DRC. Under such circumstances the DRC shall not reasonably withhold its approval so long as the owner has complied in all material respects with the requested changes.

If the DRC disapproves any submittal, the owner has the right to appeal the decision to the Board of Directors of CEMA pursuant to the CC&R's.

NOTE: After the DEVELOPER has no longer appointed a majority of the DRC; the owner of The Crosby Club shall have the right to review all subsequent improvements to lots adjacent to or in view of the Golf Course.

### **7.1.3 Final Working Drawing Submittal**

After the DRC has approved the Schematic Design Submittal, Final Working Drawings must be prepared and submitted to the DRC for review and approval prior to submittal to the County of San Diego. Five (5) copies of each exhibit must be submitted before the review commences. The exhibits required for this submittal are:

#### Working Drawings:

- A. Architectural site plan (plot plan), floor plans, elevations, sections and construction details with Architects wet stamp.
- B. Drawings, including perspective, architectural and construction details, door and window schedules, (must include any revisions required by the DRC after their review of the first submittal).
- C. Written specifications for all proposed work.

#### Grading Plan:

- A. Show drainage for surface and subsurface, including direction of flow and type and size of facility.
- B. Finished grade changes accompanied by a grading plan prepared by a licensed civil or professional engineer or architect, with Civil Engineers wet stamp.
- C. Drainage pattern and drainage system. Downspout points of connection. Curb coring is not allowed. See "Curb Outlets" in the Exhibits Section.
- D. Show existing utilities, including sewer, water, electrical, gas, telephone, cable TV etc.
- E. Show relationships of walls and fences to property lines.
- F. Final SWPPP and erosion control plan and copy of the Notice of Intent, (NOI), filed with the State of California Water Resource Board.

### Geotechnical Report:

The final grading plan shall be reviewed by a geotechnical consultant. This review shall include:

- A. Grading
- B. Foundation and wall plans
- C. Sub drainage plans
- D. Improvement plans

NOTE: A County of San Diego rough grading permit may be required on some lots if grading is extensive. If required, this permit must be obtained before a precise grading permit.

### Landscape Plan:

- A. Provide a full irrigation plan and specifications.
- B. Provide a full landscape planting plan showing type, size, and location of all plant materials, specifications, and soil preparation.
- C. Provide a construction plan showing all fences, walls, mailboxes, house numbers, trellises, arbors and gazebos, fountains, pools, sidewalks, and driveway improvements, including their location, material, color and finish.
- D. Provide a landscape lighting plan.
- E. Provide copy of Agricultural Soils Report.
- G. Provide the Landscape Architects wet stamp and signature.

### Pool Plans:

Saline pools are not allowed at The Crosby due to prohibitions from the County of San Diego and the Rancho Santa Fe Community Services District (Sewer District).

Chlorinated swimming pools are allowed at The Crosby, however pool discharge for back flushing the filters or draining the pool must be accomplished through the sanitary sewer system. The County of San Diego strictly forbids discharge of chlorinated water into the street or curb and gutter. A minimum 4" size sewer lateral is required at the pool equipment area.

The Rancho Santa Fe Community Services District allows the following methods for discharge of chlorinated water into the sewer system:

- A. Filter backwash and pool discharge is allowed to be pumped into the sewer lateral at a rate of 50 gpm or less.
- B. No direct connection from the swimming pool drains or the filter back flush equipment to the sewer lateral is required.

The sewer lateral must be shown on the site or grading plan submittal. Pool plans must include plans for drainage, pool equipment and construction in conformance with these DESIGN GUIDELINES and the CC&R's.

NOTE: special attention should be given to soil preparation. The service of a qualified landscape architect or soils agronomist is required to prepare plans and prescribe soil amendment prior to submittal. It is strongly recommended that the services of a soils engineer be retained to review pool plans and specifications prior to executing a construction contract. The soil in your lot may

be expansive and the pool should be designed accordingly.

Upon determination by the DRC that all requirements for the Final Submittal have been met, the DRC will review this submittal in accordance with the procedures and the time periods used for the review of schematic design submittal. See “Final Plan Review Submittal Checklist” in the Exhibits Sections.

The final submittal review will include, but not be limited to, a determination of whether the submittal is consistent with the schematic design submittal, and if not, the reasons for any discrepancies, and the review and approval or disapproval of all plans.

Upon receiving approval in concept by the DRC, the working drawings and plans may then be submitted to San Diego County for approval and issuance of grading and building permits. Landscape plans must be approved by the Rancho Santa Fe Fire Protection District. The owner must obtain DRC approval of all revised building and or grading plans prior to resubmittal to the County of San Diego.

NOTE: After the DEVELOPER has no longer appointed a majority of the DRC, the owner of The Crosby Club shall have the right to review all subsequent improvements to lots adjacent or in view of the Golf Course.

#### **7.1.4 DRC Review of County Approved Architectural Plans**

The lot owner shall submit copies of the County’s plan check comments and the required changes, if any, to the final construction plans prior to the lot owner’s re-submittal to the County of San Diego. The purpose of this review is to give the DRC the opportunity to review San Diego County’s plan check comments and any required changes to the final construction plans prior to the issuance of the grading and building permits. The DRC reserves the right to impose additional requirements on the lot owner if San Diego County’s comments substantially deviate from the plans previously approved by the DRC or would adversely impact property owners in the Community.

Any proposed changes or deviations from the approved plans during construction must be submitted to the DRC for approval prior to the commencement of such changes.

The review of the submittal shall be in accordance with the procedures and time periods used for the review of the schematic design submittal.

#### **7.1.5 Proceeding with Work**

Upon receipt of approval from the DRC, the owner shall, as soon as practicable, satisfy any conditions as may be imposed by such approval and diligently proceed with the commencement of construction and completion of the improvement pursuant to said approval. Commencement in all cases shall be within six (6) months from the date of such approval. If the owner shall fail to commence construction within said six (6) month period, any approval given pursuant to this chapter shall be deemed revoked unless the DRC, upon written request of the owner made prior to the expiration of such six (6) month period, extends the time for commencement of construction. No such extension shall be granted unless the DRC finds that (a) that there has been no change in the circumstances upon which the original approval was granted and (b) the owner has a bona fide intention and ability to complete the project within the time specified in

the extension request.

#### **7.1.6 Inspection of Work by DRC**

During the course of construction, representatives of the DRC shall have the right to inspect the job site to confirm that the work on the approved regulated improvement is proceeding in accordance with the approved plans and specifications; provided, however, that if the lot is improved with an occupied dwelling at the time of such inspection, the inspection shall be made in accordance with Section 11.10 of the CC&R's (relating to the exercise of the DRC's rights of entry to make such inspection). In a case of non-compliance, the lot owner/contractor will have twenty-four (24) hours to correct the discrepancy (or if the discrepancy cannot be remedied within twenty-four (24) hours, the lot owner / contractor must begin to remedy the discrepancy within such time period and diligently proceed to bring the discrepancy into compliance). If the lot owner fails to have the contractor correct the discrepancy with such time period, the DRC shall notify the CEMA of such failure, and the Board shall proceed in accordance with the provisions in Section 8.10 of the CC&R's, as though the failure to comply was a noncompliance with approved plans.

#### **7.1.7 DRC Construction Review Procedures**

1. Return completed construction start notification, provide proof of insurance, acknowledgement from the Contractors Manual, Temporary Facility Plan and pay the required \$10,000.00 construction deposit prior to the start of construction. Make the check payable to The Crosby Estate at Rancho Santa Fe Master Association and mail or deliver to the MANAGEMENT COMPANY.
2. Call DEVELOPER to schedule a pre-construction conference. The purpose of the pre-construction meeting is to inspect and document the condition of the existing lot and adjacent common area improvements prior to start of construction. Common area improvements include but not limited to streets, curb and gutter, utilities, meter boxes and vaults and Golf property. The meeting affords the owner's general contractor an opportunity to meet DEVELOPER and review operational information.
3. Call DEVELOPER to schedule the following interim construction inspections. See "Field Construction Inspections and Certification Requirements" in the Exhibits Section. The interim construction inspections are required for DRC approval for the homeowner to proceed with construction.
  - A. Rough grading and stake out for foundation.
  - B. At completion of foundation forming. You must provide the Design Review Committee with a Letter of Certification from a California licensed Civil Engineer or licensed Lands Surveyor of pad elevation, property line encroachment, setbacks, perimeter dimension and finished floor elevations. This document should be mailed to the MANAGEMENT COMPANY.
  - C. At completion of framing and installation of doors and windows. You must provide the Design Review Committee with a Letter of Certification from a California Licensed Civil Engineer that the building height is in conformance with approved plans. This document should be mailed to the MANAGEMENT

COMPANY.

D. Exterior color and material board review, prior to installation.

E. At completion of final grading and drainage.

4. Upon completion of the work, the owner shall provide a letter to the DRC indicating all improvements to the lot are complete and in conformance with the approved plans. The owner shall provide a copy of the Certificate of Occupancy issued by the County of San Diego and a final record set of as built landscape drawings. Upon receipt of the letter, copy of the Certificate of Occupancy and landscape as built record drawings; the DRC will schedule a final inspection of the project, including landscape, within 30 days. Call the MANAGEMENT COMPANY to schedule the final inspection.
5. In the same letter, the owner may also request refund of their security deposit. The final inspection will include review of all adjacent common area improvements for any damage that may have occurred during construction. Any damage to common area facilities must be repaired or replaced by the owner of the lot. The owner may also elect to have the HOA repair the damage and deduct the cost of repair from the owner's security deposit.
6. Foundation Survey

Within ten (10) days of completion of pouring of the foundation for the house and all other improvements that are located within the Building Envelope, the Owner must submit a certified survey to the DRC. The purpose of the certified survey is to insure that the boundaries of the Building Envelope have not been violated. This certified survey must be approved by the DRC prior to the commencement of construction on any other portions of the improvements. If the Owner fails to submit the survey, the DRC may order a survey to be prepared, in which event Owner shall reimburse the DRC for the costs of the survey within thirty (30) days of receipt of the DRC's invoice for same. In the event that any such survey shows that the foundation has been poured beyond the limits of the building envelope, the Owner shall remove any portion outside the building envelope, and if the Owner fails to do so within thirty (30) days after the date of submitting the survey, the DRC may do so and bill Owner, in which event Owner shall reimburse the DRC as provided in the preceding sentence.

The DRC must approve or disapprove the surveyed plan within ten (10) working days of its receipt of the survey. Failure by the DRC to act within the ten (10) working day period will constitute an approval of the submittal.

7. Framing Inspection

After the lot owner has framed the ridgelines of the improvements, the ridgelines shall be surveyed and a survey certification prepared. The certification must then be submitted to the DRC. The purpose of the certification is to ensure that the building height limits have not been violated. This certification must be conducted prior to the installation of roof sheathing or tile. The lot surveyor must tie into the on-site elevation benchmark system.

The DRC will review this submittal and any other changes that were made to the lot improvements in the field in accordance with the procedures and time periods used for

the review of the foundation inspection.

#### **7.1.8 Notice Of Completion**

After completion of all improvements to the lot and after the issuance of the Certificate of Occupancy by San Diego County, the owner shall submit a letter to the DRC indicating that all improvements on the lot are complete and are in conformance with the approved plans and specifications of the DRC. The lot owner shall provide a copy of the Certificate of Occupancy to the DRC for its files. Upon receipt of the letter, the DRC must inspect the improvements within thirty (30) days. After inspection, the DRC will notify the owner of either final approval of the improvements or non-compliance with the approved plans and specifications. Failure by the DRC to notify the owner of any non-compliance within thirty (30) days after completion of the inspection will constitute an approval of the improvements.

In the letter indicating that all improvements are complete, the owner shall also have the right to request that any remaining refundable portion of their deposit be released by the Board of Directors of the CEMA after the inspection and final approval of the improvements by the DRC. The owner shall also have the right at this time to request that the DRC release any bonds or insurance policies that have been held against the lot.

#### **7.1.9 Failure to Complete Work**

Unless the owner has been granted an extension of time to complete the project by the DRC, construction, reconstruction, refinishing or alteration of any such improvement must be complete within one year after construction has commenced, except and for so long as such completion is rendered impossible or would result in great hardship to the owner because of strikes, fires, national emergencies, natural calamities or other supervening forces beyond the control of the owner or his or her agents. In the case of building custom home improvements, the requirements of this section shall be deemed to have been met if, within the one-year construction period, the owner has completed construction of the building's foundation and all exterior surfaces (including the roof, exterior walls, windows and doors). If the owner fails to comply with this section, the DRC shall notify the Board of such failure, and the Board shall proceed in accordance with the provisions in Section 8.12 of the CC&R's as though the failure to complete the improvements was a noncompliance with approved plans.

### ***7.2 Landscape Approval Process***

#### **7.2.1 Landscape Plan Review Procedure**

##### Step 1 – Plan Submittal:

1. Homeowner and/or design team (Applicant) will submit three (3) sets of RSFFD stamped plans, all required applications, neighbor notifications and fees to the MANAGEMENT COMPANY.
2. The deadline to submit plans is the MONDAY two weeks prior to a scheduled DRC meeting date. For meeting dates, contact the MANAGEMENT COMPANY.
3. The MANAGEMENT COMPANY will provide the submitted plans to the DRC's professional landscape consultant for review.

### Step 2 – Pre DRC Workshop:

1. Plan workshops are held, as required, on the THURSDAY preceding the week of a scheduled DRC meeting. Contact the MANAGEMENT COMPANY for a workshop date and location. Workshop attendance is required and must precede DRC plan review.
2. The landscape consultant will ensure Applicant has the current DESIGN GUIDELINES and will review the plan for completeness. The consultant will provide comment on the overall design and specific items as necessary. If significant changes to the submitted landscape plan are recommended, Applicant must submit revised plans to the MANAGEMENT COMPANY by the MONDAY prior to a scheduled DRC meeting.
3. At the workshop, the landscape consultant will provide direction to Applicant. Thereafter, and prior to DRC review, the consultant may communicate directly with Applicant, as necessary, until either:
  - A. The plans are complete and in general compliance with the DESIGN GUIDELINES, or
  - B. The plans are complete, but deviate from the DESIGN GUIDELINES and the Applicant desires to request variances from the DRC.

**In neither case is the consultant’s review a substitute for DRC review nor is any opinion expressed by the consultant that of the DRC.**

### Step 3 – DRC Plan Review:

1. The landscape consultant will review Applicant’s plans with the DRC at a scheduled meeting. Applicant may be present and provide comments during this review.
2. The DRC will determine plan compliance after deliberating with the consultant and the Applicant should he, she or they choose to attend the meeting.
3. During the review process, the DRC may require revisions to Applicant’s plans and the meeting may be continued for review of revisions.

**As empowered by the DESIGN GUIDELINES and other governing documents, the DRC’s decision may differ from any opinion expressed by the landscape consultant.**

#### **7.2.2 Notice of Completion**

After completion of all improvements, the owner shall submit a letter to the DRC indicating that all improvements on the lot are complete and are in conformance with the approved plans and specifications of the DRC. Upon receipt of the letter, the DRC must inspect the improvements within thirty (30) days. After inspection, the DRC will notify the owner of either final approval of the improvements or non-compliance with the approved plans and specifications.

#### **7.2.3 Failure to Complete Work**

Unless the owner has been granted an extension of time to complete the project by the DRC, all improvement must be complete within the time frame specified by the DRC at plan review. If the owner fails to comply with this section, the DRC shall notify the Board of such failure with a compliance violation recommendation.

### ***7.3 Golf Course DRC Approval Process***

The Crosby Club owner shall have the right, but not the obligation, to review all submittals received by the DRC that are abutting or in direct view of the Golf Course. The Crosby Club can require modifications to plans, as they deem necessary, within reason, to insure the value and integrity of the Golf Course. The DRC is obligated to notify the Golf Course Owner of all such improvement submittals.

### ***7.4 Fees, Deposits and Insurance***

Each lot owner shall be responsible to (a) pay fees to reimburse costs incurred by the DRC to review and process plans and specifications (including reasonable fees charged by an architect or other consultant employed or retained on behalf of the DRC pursuant to Section 4.5.6 of the CC&R's) and to inspect ongoing construction activity on such owner's lot, and (b) make deposits, post completion bonds or provide other financial security acceptable to the DRC to assure the lot owner's and their contractor's proper and timely performance in accordance with the approved plans and specifications. The DRC may also impose guidelines regarding the application, use and refund of such fees, deposits, bonds or other financial security to be paid or provided by guest builders, as well as exemptions from such requirements for guest builders so long as the guest builder is performing in accordance with its agreements with the DEVELOPER. However, in no event will the DEVELOPER be subject to any such requirements described in this paragraph or elsewhere in these DESIGN GUIDELINES with respect to any improvements constructed by or on behalf of the DEVELOPER.

#### **7.4.1 Deposits and Insurance**

Owners shall at the time of an architectural submittal for their lot pay to the DRC through escrow the following deposit:

##### **A. Clean-Up/Improvement Deposit.**

Owners shall make a deposit of \$10,000 at the close of escrow. This deposit is to assure the proper construction of the improvements on owner's lot, proper cleanup of debris, compliance with drainage runoff and water quality management regulations, and repair of any damage (including but not limited to, damage to curbs, gutters, sidewalks, pavement, water meter boxes, etc.) to homeowner association, Golf Course or other property within The Crosby caused by the lot owner or its contractors or agents in the construction of improvements on owner's lot. If this deposit is depleted during construction, the lot owner must replenish the deposit before construction can continue. Of this deposit, \$9,500 is refundable upon completion of construction of all improvements on the owner's lot provided that (a) all other fees have been paid, (b) the improvements have been completed in accordance with the DRC-approved plans and all other requirements of the DESIGN GUIDELINES, and a Certificate of Occupancy has been issued by San Diego County, (c) the lot owner has submitted surveyor's reports that document the location of all improvements on the owner's lot, (d) all common areas are cleaned up, (e) any damaged property has been repaired, and (f) the lot owner has submitted a written request for reimbursement in the format shown in the Contractor's Manual. \$500 of the deposit is non-refundable and will be used by the DRC for the cost of inspections by the DRC's site inspector. The Clean-Up/Improvement Deposit may be increased at any time in the

discretion of CEMA's Board of Directors and the DRC.

B. Architectural Plan Review Fee.

Owners shall pay a non-refundable fee of \$5,000 for architectural and landscape review. Each lot owner shall pay this fee at the time of the initial plan submittal. The DRC may charge additional fees for excessive submittals that require additional reviews. The Architectural Plan Review Fee may be increased at any time in the discretion of CEMA's Board of Directors and the DRC.

C. Insurance.

Prior to commencement of construction, the lot owner shall require his or her general contractor to purchase (i) commercial general liability insurance and (ii) automobile insurance. *(Note to lot owners: this section does not cover all insurance that the lot owner should obtain in connection with construction of improvements on owner's lot – e.g., workers compensation insurance, fire insurance, etc. – and each lot owner must coordinate with their respective insurance agent to determine the appropriate insurance coverages for their home during the course of construction.)* All insurance described herein to be carried by general contractor will be maintained by such contractor with insurance carriers authorized to do business in California, having a general policyholders rating of not less than an "A" and financial rating of not less than "VII" in the most current Best's Key Rating Guide. In no event will such insurance be terminated or otherwise allowed to lapse prior to termination of the contract or completion of construction on owner's lot, whichever occurs last.

D. General Liability Insurance.

The commercial general liability insurance policy shall be written on an "occurrence" basis, with deductibles reasonably acceptable to the lot owner, with a combined single limit for bodily injury and property damage of one million dollars (\$1,000,000), or limit carried, whichever is greater.

E. Auto Liability Insurance.

The automobile liability insurance policy shall cover owned, hired and non-owned automobiles, trucks, trailers and other motor vehicles used by the general contractor in connection with the construction of the home on owner's lot, with a combined single limit of r bodily injury and property damage of one million dollars (\$1,000,000), or limit carried, whichever is greater, and uninsured motorists coverage of one million dollars (\$1,000,000), or limit carried, whichever is greater, for each accident.

F. Certificate of Insurance.

The lot owner must deliver a certificate of insurance evidencing such coverage to the DRC and to the MANAGEMENT COMPANY prior to commencement of construction. The certificate must also confirm that the automobile liability insurance contains the language in clause (a) below and that the commercial general liability insurance policy contains both clauses (a) and (b) below:

1. This insurance shall not be subject to cancellation without thirty (30) days prior written notice to be delivered by registered mail to:

The Board of Directors  
The Crosby Estate at Rancho Santa Fe Master Association  
c/o MANAGEMENT COMPANY

2. The coverage afforded by this policy shall also apply to the following parties as additional insureds, but only with respect to legal liabilities or claims caused by, arising out of or resulting from the acts or omissions of the named insured or of others performed on behalf of the named insured: The Crosby Estate at Rancho Santa Fe Master Association, DEVELOPER, and each of their respective officers, directors, agents, employees, members, partners, divisions, shareholders, committees, parent and subsidiary and affiliated companies, and all of their respective successors and assigns. This insurance is primary, and any other insurance maintained by such additional insureds is noncontributing with this insurance as respects claims or liability arising out of or resulting from the acts or omissions of the named insured or of others performed on behalf of the named insured. The policy coverage shall not contain any exclusionary language or limitations that are applicable to any additional insured that are not applicable to the named insured.

G. Waiver of Subrogation.

In addition to the above requirements, the policy shall indicate that the general contractor waives all rights against the additional insureds for damages caused by fire and other perils and risks to the extent covered by Contractor's required policies of insurance.

H. Additional Insurance.

As noted above, each lot owner must contract their own insurance agent to determine whether the above coverages are sufficient to protect the owner's interests, as well as whether the lot owner should obtain any additional types of insurance. In addition, the lot owner and its general contractor should consider the types and amounts of insurance to be provided by their subcontractors and consultants working on the lot improvements.

See "Custom Residential Design Review Application" in the Exhibits Section.

# THE CROSBY

## AT RANCHO SANTA FE

### **Exhibits**

## *Allowed Plant List*

Species indicated may not be appropriate for all situations.

<u>Use</u>	<u>Location</u>
T- Theme	F- Front Yard
A- Accent	I- Interior
C- Courtyard	P- Perimeter
G- General	

### ***THEME***

#### ***Trees***

Acacia decurrens	Green Wattle	T	P
Alnus rhombifolia	White Alder	T	P
Arbutus undedo & hybrids	Strawberry Tree	T	F-I-P
Brachychiton populneus	Bottle Tree	T	F-I-P
Cassia leptophylla	Gold Medallion Tree	T	F-I-P
Cercidium microphyllum	Palo Verde	T	F-I-P
Cinnamomum camphora	Camphor Tree	T	F-I-P
Citrus species & hybrids	Citrus Tree	T	F-I-P
Cupaniopsis anacardioides	Carrot Wood Tree	T	F-I-P
Geijera parvifolia	Australian Willow	T	F-I-P
Jacaranda mimosifolia	Jacaranda	T	F-I-P
Koelreuteria bipinnata	Chinese Flame Tree	T	F-I-P
Laurus nobilis	Sweet Bay Tree	T	F-I-P
Liquidambar styraciflua	Sweetgum	T	F-I-P
Olea europea* & hybrids	Olive	T	F-I-P
*fruitless variety encouraged			
Pistichia chinensis	Chinese Pistache	T	F-I-P
Pinus halepensis	Aleppo Pine	T	P
*where located pursuant to Fire District regulations			
Pittosporum undulatum	Umbrella Tree	T	F-I-P
Platanus racemosa	California Sycamore	T	F-I-P
Prunus Carolina	Laurel Cherry	T	
Quercus agrifolia	Calif. Coastal Live Oak	T	F-I-P
Quercus ilex	Holly Oak	T	F-I-P
Rhus lancea	African Sumac	T	F-I-P
Schnius molle	Calif. Pepper	T	F-P
Ulmus parvifolia	Evergreen Elm	T	F-I-P

### ***ACCENT***

#### ***Trees***

Archontophoenix cunninghamiana	King palm	C	I
Avocado species	Avocado	A	F-I-P
Bauhina species	Orchid Tree	C	I
Brahea species	Palm	C	I
Chamaerops humilis	Mediterranean Fan Palm	A	F-I
Erythrina species	Coral Tree	A	F-I-P
Eucalyptus species	Eucalyptus	A	P
Pinus canariensis	Canary Island Pine	A	F-I
Pinus pinea	Italian Stone Pine	A	F-P
Pinus torreyana	Torrey Pine	A	F-P

Prunus cerasifera	Purple Leaf Plum	A	F-I-P
Pyrus calleryana	Ornamental Pear	A	F-I
Syagrus romanzoffianum	Queen palm	A	I
*where located pursuant to Fire District regulations			
Tabebuia species	Trumpet Tree	A	F-I
<i>Other palm species not listed otherwise.</i>			

### ***Trees***

Agonis flexuosa	Peppermint Tree	G	F-I-P
Brahea species	Palm	G	F-I
Butia capitata	Pindo Palm	G	F-I
Cercis occidentalis	Western Redbud	G	F-I
Cordyline australis	Giant Dracaena	G	F-I-P
Dracaena drago	Dragon Tree	G	F-I-P
Feijoa sellowiana	Pineapple Guava	G	F-I-P
Ficus microcarpa	Indian Laurel Fig	G	F-P
Ficus nitida	Indian Laurel	G	F-P
Ficus rubiginosa	Rusty Leaf Fig	G	F-P
Lagerstroemia indica & hybrids	Crape Myrtle	G	F-I-P
Liriodendron tulipifera	Tulip Tree	G	F-P
Magnolia species	Magnolia	G	F-I-P
Melaleuca quinquenervia	Paperbark Melaluca	G	F-P
Metrosideros excelsus	New Zealand XmasTree	G	F-I-P
Pinus eldarica	Afghan Pine	G	F-P
Podocarpus gracilor	Yew Pine	G	F-I-P
Prunus caroliniana	Carolina Cherry	G	F-I-P
Raphiolepis 'Majestic Beauty'	Indian Hawthorne	G	F-I
Trachycarpus fortunei	Windmill Palm	G	F-I
Tipuana tipu	Tipu tree		
Tristania conferta	Brisbane Box	G	P
Washingtonia robusta	Mexican Fan Palm	G	F-I-P

### ***THEME***

#### ***Shrubs, Vines and Groundcovers***

Abelia grandiflora	Abelia	T	F-I-P
Achillea millefolium & hybrids	Yarrow	T	F-I
Aeonium species	Aeonium	T	F-I
Agave species & hybrids	Agave	T	F-I-P
Aloe species & hybrids	Aloe	T	F-I-P
Arctostaphylos cultivars	Manzanita	T	F-I-P
Arctotheca calendula	Cape weed	T	F-P
Bougainvillea species	Bougainvillea	T	F-I-P
Buxus species	Boxwood	T	F-I
Carissa grandiflora	Natal Plum	T	F-I-P
Ceanothus species & hybrids	California Lilac	T	F-I-P
Cistus species & hybrids	Rockrose	T	F-I-P
Cordyline australis & hybrids	Cordyline	T	F-I-P
Cuphea hyssopifolia	False Heather	T	F-I
Delospermum alba	Iceplant	T	F-I-P
Echeveria species	Hen and Chicks	T	F-I
Erigeron karvinskianus	Santa Barbara Daisy	T	F-I-P

Galvezia speciosa	Bush snapdragon	T	F-I
Hemerocallis species	Daylily	T	F-I-P
Heteromeles arbutifolia	Toyon	T	F-I-P
Helictotrichon sempervirens	Blue Oat Grass	T	F-I
Hesperaloe parvifolia	Red Aloe	T	F-I
Juniperus 'prostratus'	Prostrate Juniper	T	F-I-P
Juniperus torulosa	Twisted Juniper	T	F-I-P
Lantana species	Lantana	T	F-I-P
Lavandula species & hybrids	Lavender	T	F-I-P
Leptospermum species	NZ Tea Tree	T	F-I-P
Leucophyllum species & hybrids	Texas Ranger	T	F-I-P
Mascagnia species	Orchid Vine	T	F-I-P
Melaleuca nesophyla	Pink Melaluca	T	P
Mimulus puniceus	Monkey Flower	T	F-I-P
Muhlenbergia rigens	Deer Grass	T	F-I-P
Myrtus communis	Myrtus	T	F-I-P
Nassella pulchra	Purple Needlegrass	T	F-I-P
Nerium oleander	Oleander	T	F-I-P
Plumbago capensis	Cape Plumbago	T	F-I-P
Prunus caroliniana	Laurel Cherry	T	F-I-P
Prunus ilicifolia	Holly Leaf Cherry	T	F-I-P
Rosa species & hybrids	Tea Rose	T	F-I
Rosa species & hybrids	Trailing Rose	T	F-I-P
Rosmarinus species & hybrids	Rosemary	T	F-I-P
Salvia species & hybrids	Sage	T	F-I-P
Sambucus caerulea	Blue elderberry	T	F-P
Senecio mandraliscae		T	F-I-P
Stipa cernua	Needlegrass	T	F-I-P
Westringia fruticosa	Westringia	T	F-I-P
Yucca species	Yucca	T	F-I-P
Zauschneria sp.	California Fushia	T	F-I-P

## ***ACCENT***

### ***Shrubs, Vines and Groundcovers***

---

Agapanthus species & hybrids	Lily of Nile	A	F-I
Azalea species	Azalea	A	F-I
Camelia species	Camelia	A	F-I
Clematis species	Clematis	A	F-I
Clivia species	Kaffir Lilly	A	F-I
Cupressus sp.	Italian Cypress	A	F-I
*where located pursuant to Fire District regulations			
Cycas	Cycad	A	F-I
Echium fastuosum	Pride of Maderia	A	F-I-P
Euryopus		A	
Feijoa sellowiana	Guava	A	F-I-P
Gardenia	Gardenia	A	
Hedera species	Ivy	A	F-I-P
Heuchera species	Coral Bells	A	F-I
Lavatera species	Mallow	A	F-I-P
Limonium perezii	Statice	A	F-I-P
Liriope species	Turf Lily	A	F-I

Nandina domestica	Heavenly Bamboo	A	F-I
Nemophila menziessi	Blue Eyes	A	F-I
Oenothera species	Evening Primrose	A	F-I-P
Pelargonium species	Geranium	A	F-I
Philodendron species	Philodendron	A	F-I
Phormium species & hybrids	New Zealand Flax	A	F-I-P
Pittosporum tobira varieties	Mockorange	A	F-I
Santolina species	Santolina	A	F-I
Sisyrinchium bellum	Blue Eyed Grass	A	F-I
Strelitzia nicolai	Giant Bird of Paradise	C	I
Trichostema lanatum	Woolly Blue Curls	A	F-I-P
Tulbaghia violacea	Society Garlic	A	F-I-P
Tupidanthus calypratus	Tupidanthus	C	I
Vitus species	Grape	A	F-I-P
Wisteria species	Wisteria	A	F-I

### ***Shrubs, Vines and Groundcovers***

---

Alyogyne	Blue Hibiscus	G	
Anigozanthos species & hybrids	Kangaroo Paw	G	F-I
Anisodonteia	Bush Mallow	G	F-I
Artemesia 'Canyon Grey'	California sagebrush	G	F-I
Baccharis hybrids	Coyote bush	G	P
Beaumontia grandiflora	Herald's Trumpet	G	F-I-P
Buddleia species	Butterfly bush	G	
Calandrinia grandiflora	Rock Purslane	G	F-I
Caliandra californica	Fairy Duster	G	F-I
Callistemon species	Bottlebrush	G	F-I-P
Clytostoma callistegioides	Trumpet vine	G	F-I-P
Coleonema pulchrum	Breath of Heaven	G	
Coprosma species	Coprosma	G	F-I-P
Cotoneaster species	Clusterberry	G	F-I-P
Dieties species	Fortnight Lily	G	F-I-P
Distictis buccinatoria	Trumpet Vine	G	F-I-P
Dymondia margaratae	NCN	G	F-I
Elaeagnus pungens	Silverberry	G	F-P
Eriogonum species	Buckwheat	G	F-P
Escallonia species	Escallonia	G	F-I-P
Fatshedera lizei	Fatshedera	G	F-I
Garrya elliptica	Silk Tassel	G	F-I-P
Gazania species	Gazania	G	F-I-P
Grevillea species & hybrids	Grevillea	G	F-I-P
Hakea species	Hakea	G	F-I-P
Hebe species	Hebe	G	
Ilex species	Holly	G	F-I-P
Jasminum polyanthum	Jasmine	G	F-I-P
Kniphofia species & hybrids	Red Hot Poker	G	F-I-P
Ligustrum japonica	Privet	G	F-I
Lonicera japonica	Honeysuckle	G	F-I-P
Mahonia aquifolium	Grape Holly	G	F-I-P
Malosma laurina	Laurel Sumac	G	P
Myoporum parvifolium	Prostrate Myoporum	G	F-I-P

Pittosporum tenuifolium	NCN	G	F-I
Prunus caroliniana	Carolina Cherry	G	F-P
Punica granatum	Pomegranate	G	F-I-P
Pyracantha	Cotoneaster	G	F-I-P
Rhamnus californica	Coffeeberry	G	F-I-P
Rhaphiolepis indica varieties	Indian Hawthorne	G	F-I-P
Rhus integrifolia	Lemonade Berry	G	P
Ribes species	Current	G	F-I-P
Romneya species	Matilija Poppy	G	F-I-P
Sarcococca ruscifolia	Sarcococca	G	F-I-P
Strelitzia reginae	Bird of Paradise	G	F-I-P
Tagetes species	Mountain Daisy	G	F-I-P
Thevetia species	Yellow Oleander	G	F-I-P
Trachelospermum jasminodites	Star Jasmine	G	F-I
Thymus species & hybrids	Thyme	G	F-I
Tulbaghia violacea	Society Garlic	G	
Verbena species & hybrids	Verbena	G	F-I-P
Viburnum tinus	Viburnum	G	F-I-P
Vinca major	Periwinkle	G	F-I-P
Xylosma congestum	Xylosma	G	F-I-P

***Turfgrass***

Cynodon dactylon	Bermuda Grass
Festuca	Fescue Grass
Others	

**Inconsistent Character**

Species indicated as “inconsistent character” may be used as isolated individuals or accents in a manner so as to not present an overall theme of a tropical nature inconsistent with the Crosby Community Landscape Character.

<b><i>Botanical Name</i></b>	<b><i>Common Name</i></b>
Bamboo species (large)	Bamboo
Brassica sp.	Schefflera
Ferns- various	Ferns
Hibicus species	Hibicus
Photinia fradesii	Photinia
Tecomaria	Cape Honeysuckle
Cupressus Species	Italian Cypress

**Fire Management**

Species indicated as “fire management” may be used as isolated individuals or accents in a manner consistent with The Crosby Community Landscape Character and approved by the Rancho Santa Fe Fire Protection District.

<b><i>Botanical Name</i></b>	<b><i>Common Name</i></b>
Cedrus deodora	Cedar
Pinus species	Pines
Other RSFFPD prohibited	

## ***Common Areas Walls & Fencing***

Common area walls and fencing shall be installed by the DEVELOPER and shall consist of the following selections:

A. Solid Walls – (See *Solid Walls Elevation*, below)

Where privacy or protection of common area views dictate, a solid masonry wall with pilasters shall be used. Pilaster construction of sixteen inch (16” minimum) square column block shall occur at all property lines, changes in vertical and horizontal direction and at other intervals appropriate to the length of wall run. When designated to be installed on the property line between two (2) residential properties, the centerline of pilaster should be positioned on the property line.

B. Combination Wall With Steel Fence or Glass Panels – (See *Combination Wall with Fence Panel* and *Open View Fence with Glass Panel Elevations*, below)

This type of wall is used when vertical slopes are eight foot (8’) or higher and where partial privacy is desired, yet permits some view opportunity. This combination type wall shall also be used along street scenes at slope conditions where privacy does not dictate a solid wall. Generally any view-type fence that is viewed from a community street scene shall be of a combination type wall. The pilasters shall match pilasters described in solid walls above.

C. Open View Fence – (See *Open View Fence Elevation*, below)

Where view opportunities exist and where this fence is not viewed from a street scene, an open view fence may be used. Pilasters shall match pilasters described in solid walls above. Open view fences shall not be used along community or neighborhood streets. Pilasters located adjacent to or viewed from the golf course must have a rock / masonry veneer applied in place of plaster. See the description of Open View Fence Adjacent to Golf Course for additional information.

D. Open View Fence Adjacent to Golf Course – (See *Open View Fence Adjacent to Golf Course Elevation*, below)

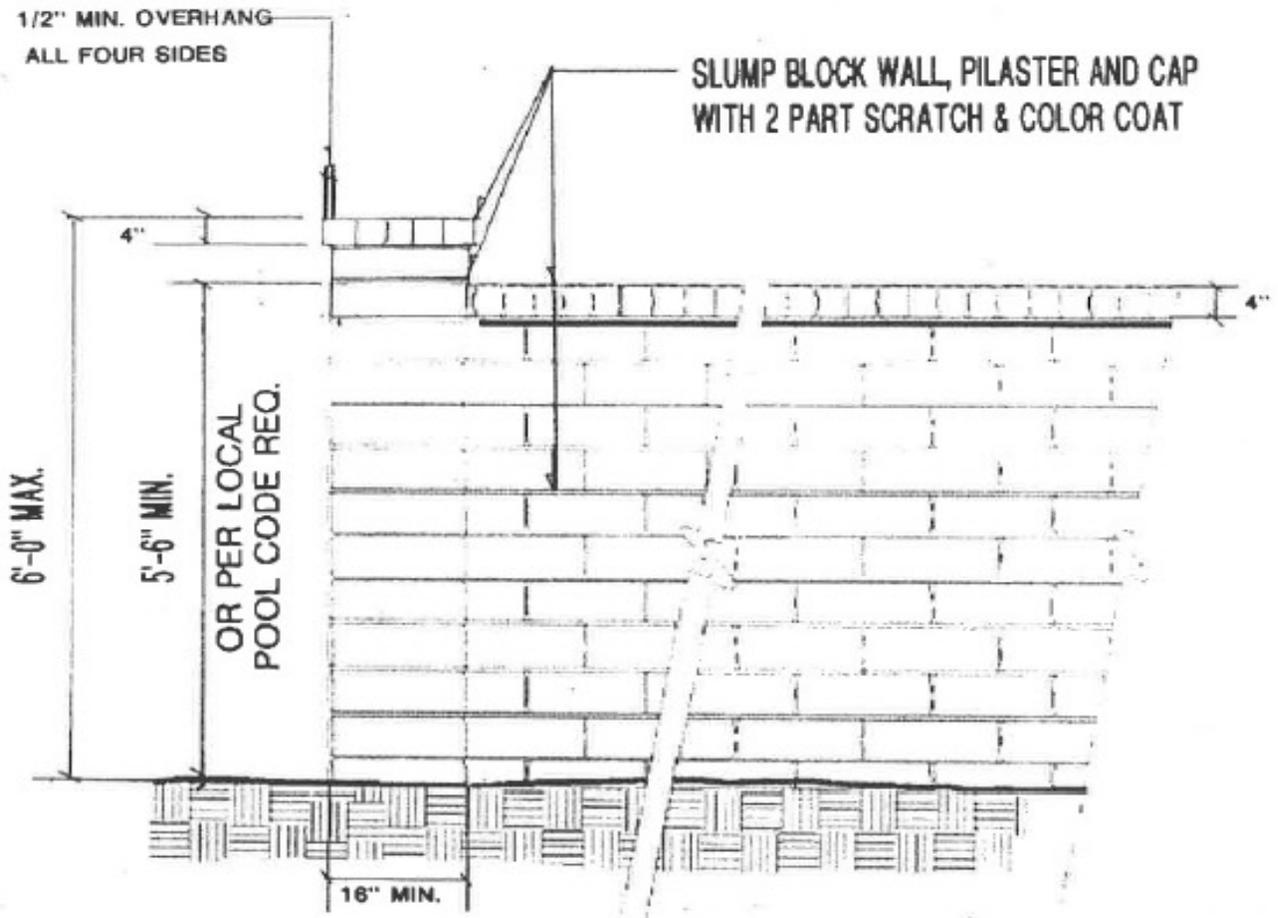
Where view opportunities exist and where the fence is viewed from the golf course, an open view fence may be used. The pilasters shall have a rock veneer per the elevation specification. A pilaster is required at each property line of the lot. The wrought iron fencing design and height must be per the elevation specification. The wrought iron shall be finish painted in semi-gloss black.

E. Walls Adjacent to Golf Course – (See *Open View Fence Adjacent to Golf Course Elevation*, below)

Where the wall faces the golf course, provide a rock veneer finish to match the existing community walls. Provide a pilaster at each property line corner. As originally specified,

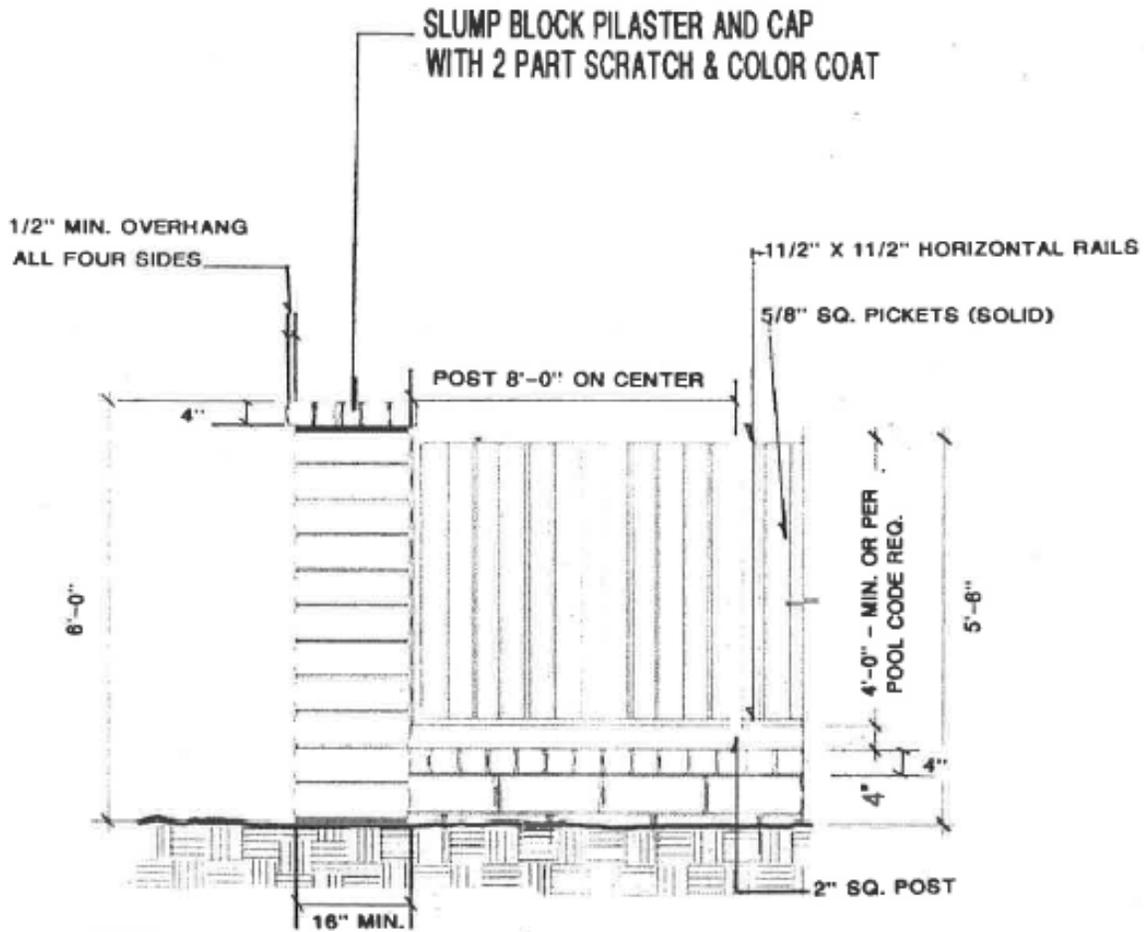
the veneer is Eldorado Stone Rustic Ledge with 20% Rubble, Dry Stack Grout. Provide a sample to the DRC to verify current product matches the original specification.

# SOLID WALLS



COMMON AREA SOLID WALL  
ELEVATION – TYPICAL

# COMBINATION WALL WITH FENCE PANEL

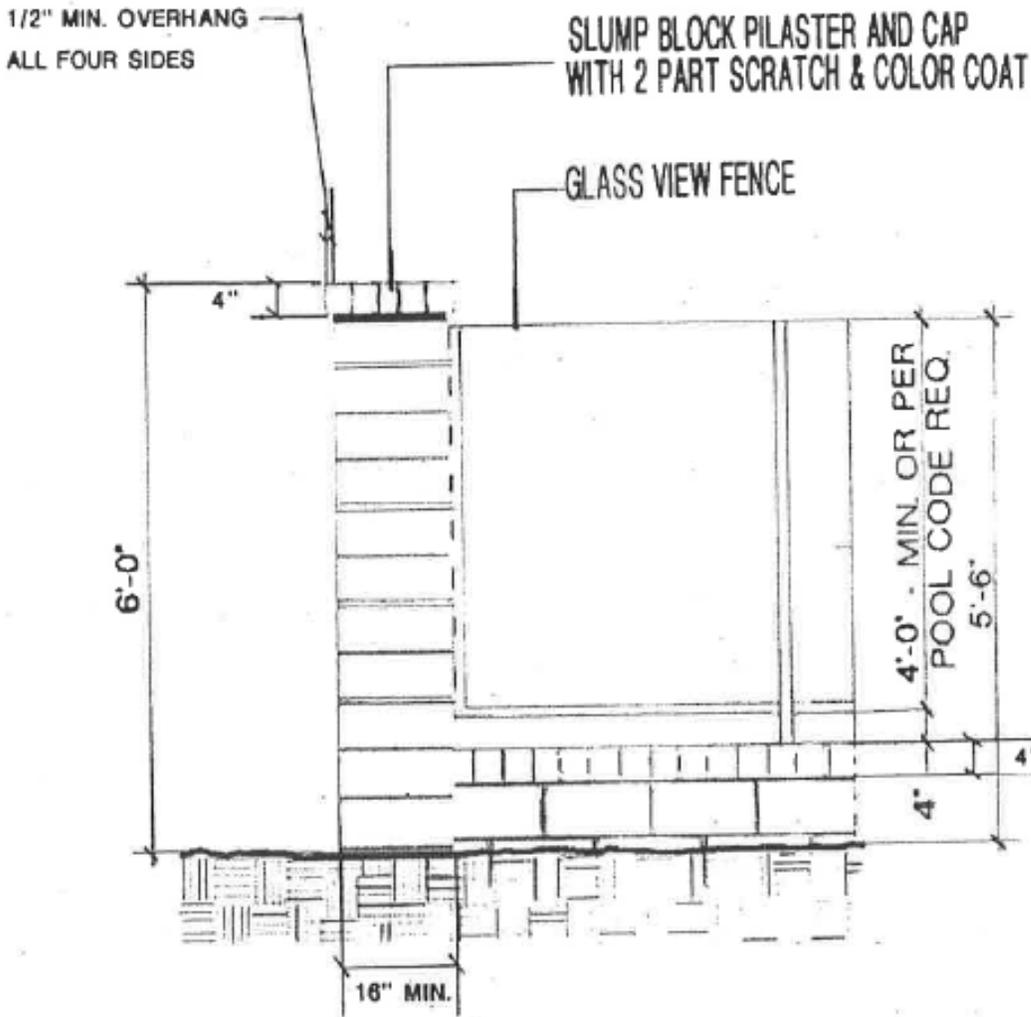


THE PRECISE DETAILING AND ENHANCEMENT OF THE WROUGHT  
IRON TO REFLECT THE HOUSE ARCHITECTURE. SEE SEC. 3.4

## COMMON AREA COMBINATION WALL / OPEN FENCE

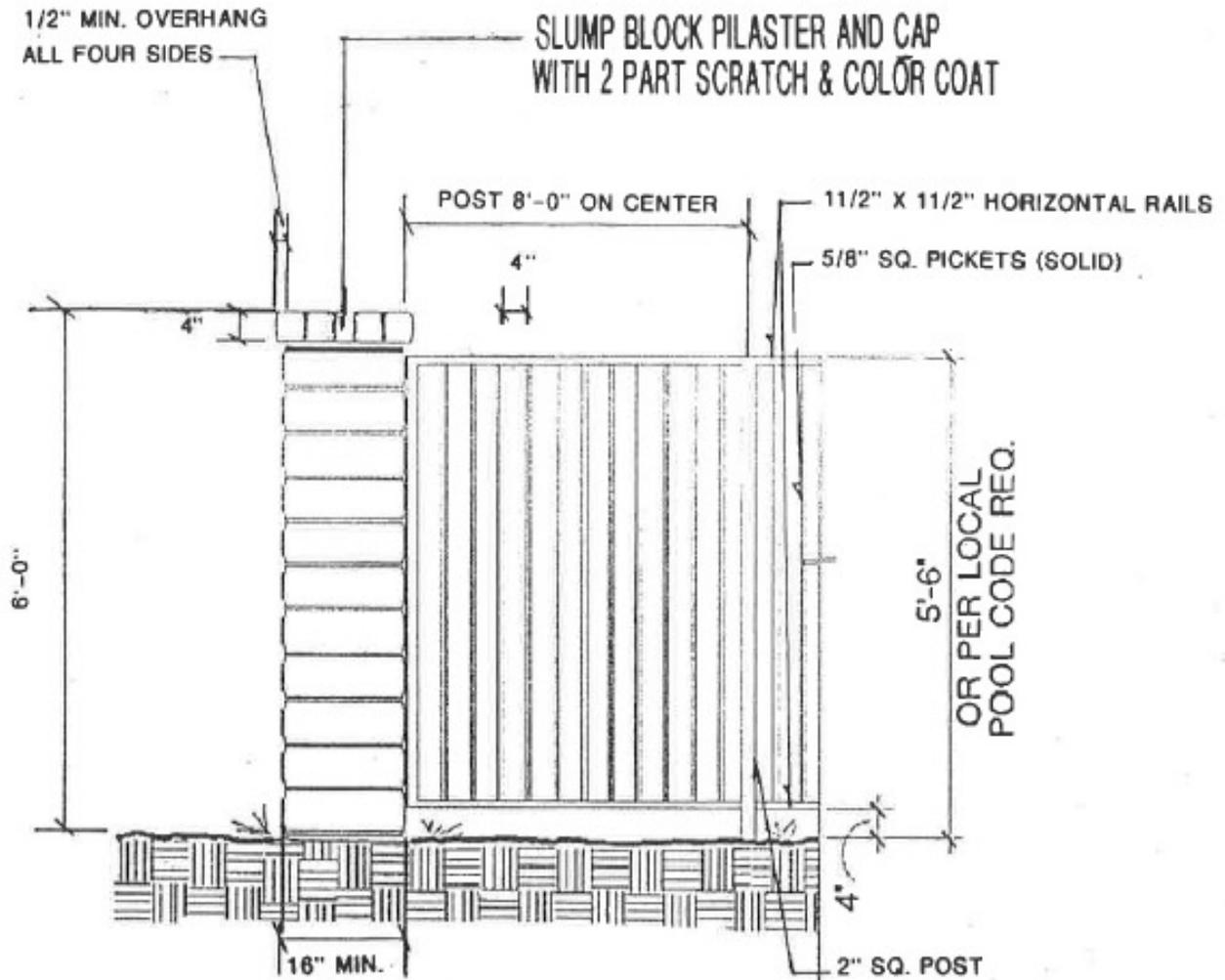
### ELEVATION - TYPICAL

# OPEN VIEW FENCE WITH GLASS PANEL



COMMON AREA COMBINATION  
WALL /GLASS VIEW FENCE ELEVATION  
TYPICAL

# OPEN VIEW FENCE

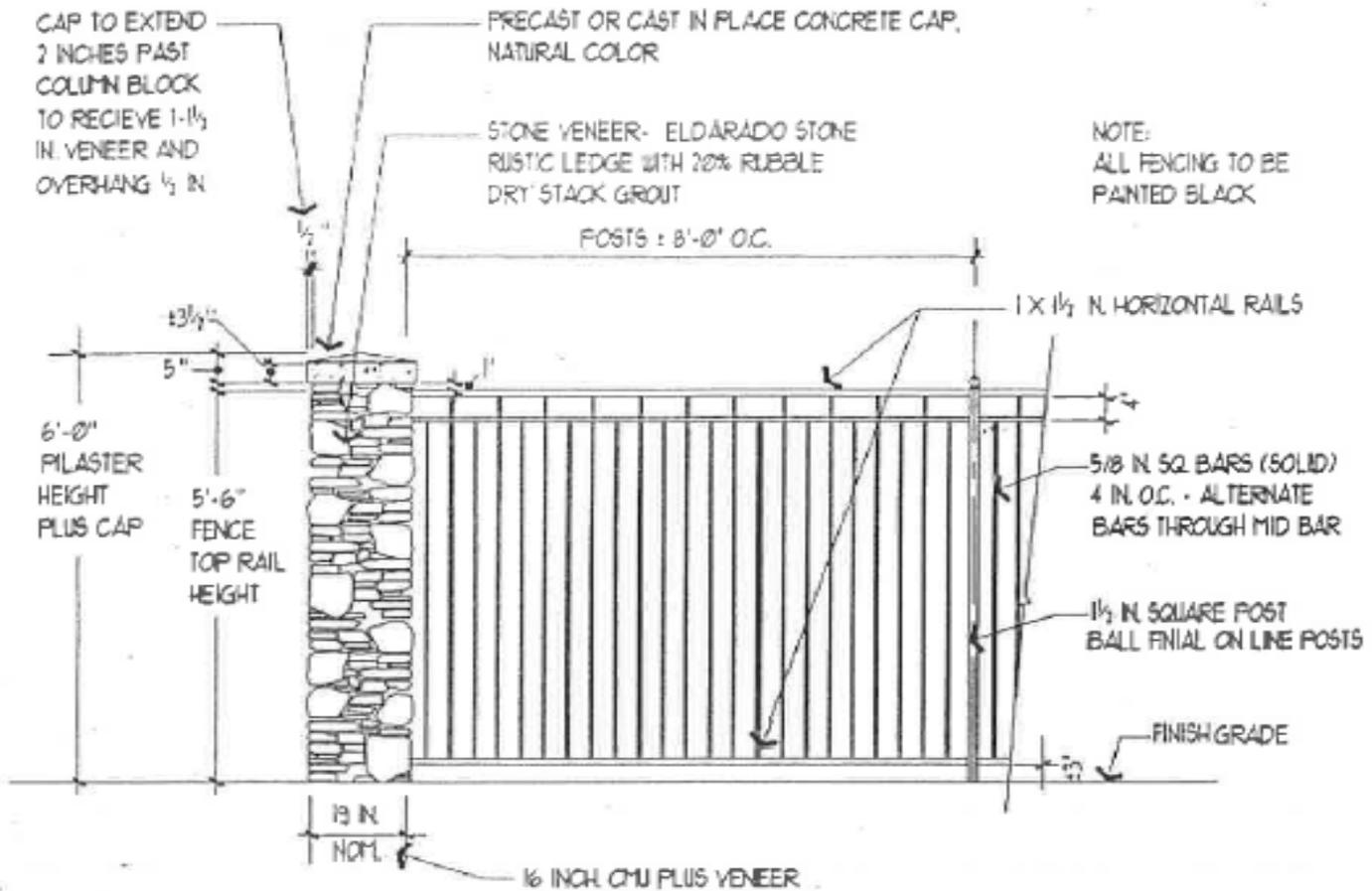


THE PRECISE DETAILING AND ENHANCEMENT OF THE WROUGHT  
IRON TO REFLECT THE HOUSE ARCHITECTURE. SEE SEC. 3.4

## COMMON AREA OPEN FENCE

### ELEVATION – TYPICAL

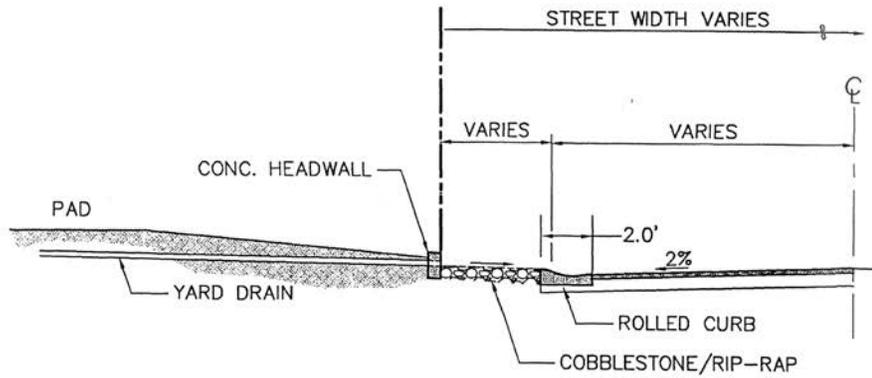
## OPEN VIEW FENCE ADJACENT TO GOLF COURSE



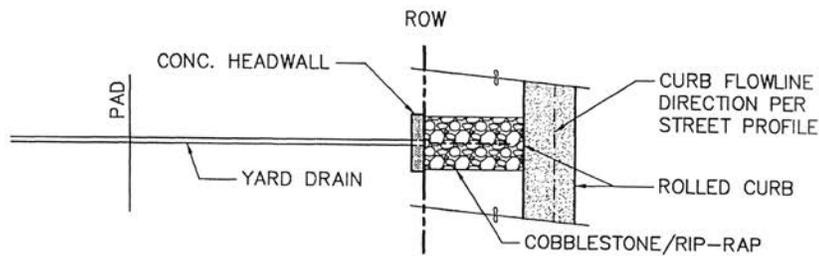
**COMMON AREA OPEN FENCE  
ELEVATION – ADJACENT TO GOLF COURSE**

# Curb Outlets

## THE CROSBY AT RANCHO SANTA FE



PROFILE



PLAN

### CURB OUTLET (HEADWALL)

NOT TO SCALE

**DESIGN NOTE:**

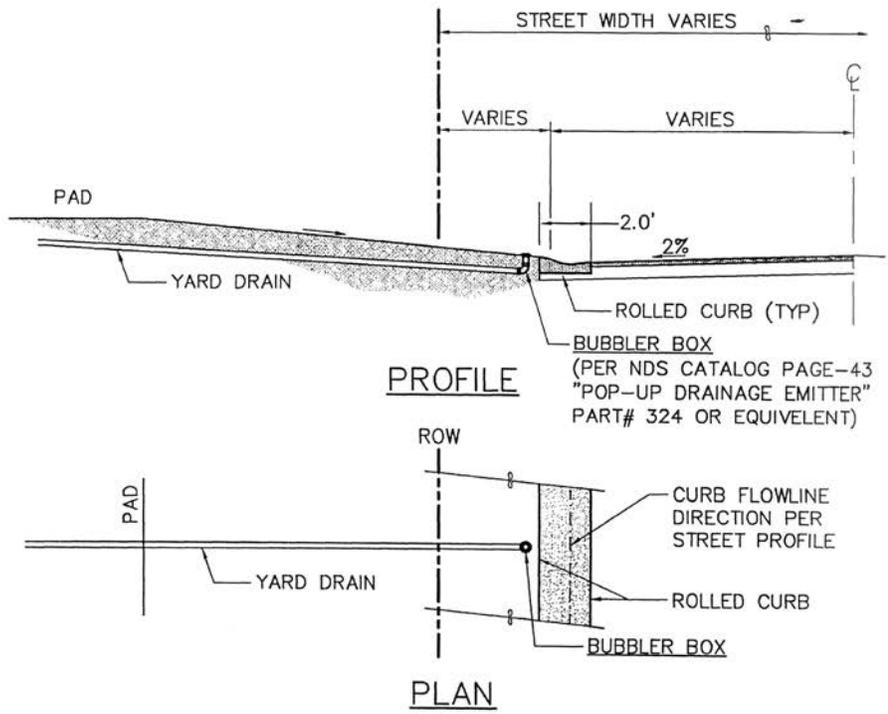
DETAILS SHOWN HEREON ARE PRESENTED AS GUIDELINES ONLY. ACTUAL LOCATIONS SHALL BE DESIGNED PER CURRENT SITE CONDITIONS AND APPROPRIATE AGENCY STANDARDS.

Prepared By:



**MASSON & ASSOCIATES, INC.**  
 PLANNING • ENGINEERING • SURVEYING  
 200 E. WASHINGTON AVE. • SUITE 200 • ESCONDIDO • CA 92025-1816  
 TEL (760) 741-3570 • FAX (760) 741-1788 • www.masson-aaec.com

# THE CROSBY AT RANCHO SANTA FE



## CURB OUTLET (BUBBLER BOX)

NOT TO SCALE

**DESIGN NOTE:**

DETAILS SHOWN HEREON ARE PRESENTED AS GUIDELINES ONLY. ACTUAL LOCATIONS SHALL BE DESIGNED PER CURRENT SITE CONDITIONS AND APPROPRIATE AGENCY STANDARDS.

Prepared By:



**MASSON & ASSOCIATES, INC.**  
 PLANNING • ENGINEERING • SURVEYING  
 200 E. WASHINGTON AVE. • SUITE 200 • ESCONDIDO • CA 92025-1816  
 TEL. (760) 741-3570 • FAX (760) 741-1788 • www.masson-assoc.com

# ***Custom Residential Design Review Application***

I. **General Information:** \_\_\_\_\_ Date: \_\_\_\_\_

A. Property Owner: \_\_\_\_\_ Lot \_\_\_\_\_

Property Address: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Email Address: \_\_\_\_\_ Phone No. \_\_\_\_\_

B. Developer/Contractor: \_\_\_\_\_

Address: \_\_\_\_\_

Email: \_\_\_\_\_ Phone Number: \_\_\_\_\_

C. Agent/Applicant: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Person \_\_\_\_\_ Phone Number: \_\_\_\_\_

## **II. Project Type**

Property Location: Neighborhood Tract: \_\_\_\_\_ Lot No. \_\_\_\_\_

- Major Architectural addition or alterations I.e. structure over 300-sq. ft. in area.
- Minor Architectural addition or alterations I.e. Structure under 300 sq. ft. (without grading)
- Architectural exterior embellishments to structure (windows, doors, stone, patio covers, or other material changes)
- Exterior color changes
- Shingle or roof tile replacement (to match existing)
- Solar Panels
- Swimming pool without solar panels
- Swimming pool with solar panels
- Major additions or alterations to landscaping  
I.e. planting, fences, walls, entry monuments, gates, etc.
- Minor additions or alterations to existing landscape and hardscape. I.e. planting, fences, walls, entry monuments, gates, etc.
- Tree removals and replacement
- Other/Explain (Use additional sheet if necessary)  
I.e. Satellite dishes

## **III. Architectural Information if applicable**

A. Floor plans and square footage (per unit):

Plan: \_\_\_\_\_

S.F.: \_\_\_\_\_

B. Building Height finished grade: \_\_\_\_\_ No. of Stories \_\_\_\_\_

C. Exterior Building Construction Materials: \_\_\_\_\_

D. Special Features of Units and Project: \_\_\_\_\_

E. Building Coverage : \_\_\_\_\_ % of Landscape Coverage \_\_\_\_\_ %

Other Coverage: \_\_\_\_\_ %

#### **IV. Residential Landscaping Design Review Application (Neighbor Notification)**

**Title of Plans:** \_\_\_\_\_ **Date of Plans:** \_\_\_\_\_

**Number of Sheets:** \_\_\_\_\_

Please have your adjacent neighbors review the plan and sign below. Adjacent neighbors would be those on either side of your property, directly behind you and across the street.\*

1.	_____	_____	_____
	Name	Address	Lot
2.	_____	_____	_____
	Name	Address	Lot
3.	_____	_____	_____
	Name	Address	Lot
4.	_____	_____	_____
	Name	Address	Lot

It is imperative to obtain these neighbor signatures prior to submitting the plans to the Design Review Committee. Failure to do so will delay the processing of your plans. Neighbors do not have the authority to approve or deny a plan, they are acknowledging that they have seen the plan only. If the neighbor has concerns with the plan, the neighboring homeowner can comment on their concern and the Design Review Committee will consider it. However, if the plans fall within the Guidelines of the Association the Applicant may be allowed to go forward with the design.

Revised 11-13-2009

## ***Custom Residential Submission List***

### A. Landscape Working Drawing Submittal

1. Planting Plan Per Conceptual Landscape Plan, Section 6.4
2. RSFFPD Approved Plan Per Section 6.5
3. Hardscape Plan Per Section 6.6
4. Soil Preparation Specification Per Section 6.7
5. Grading and Drainage Performance Specifications Per Section 6.8
6. Irrigation Performance Specifications Per Section 6.9
7. Landscape Lighting Plan Per Section 6.10
8. Maintenance Notes Per Section 6.13

## ***Field Construction Inspections And Certification Requirements***

**All required field inspections, foundation and ridgeline certifications must be scheduled through DEVELOPER.**

- ❑ Schedule a pre-construction meeting with DEVELOPER.
- ❑ Schedule the DRC inspection for foundation forms prior to concrete pour.
- ❑ Provide Engineer's foundation certification.  
You must provide the Design Review Committee with a Letter of Certification from a California licensed civil engineer or land surveyor for pad elevation, property line encroachment, setbacks, perimeter dimension and finished floor elevations. Mail to the MANAGEMENT COMPANY and provide a copy to DEVELOPER.
- ❑ Schedule DRC framing inspection prior to doors and windows.
- ❑ Provide Engineer's ridgeline certification.  
You must provide the Design Review Committee with a Letter of Certification from a California licensed civil engineer that the building height is in conformance with approved plans. Mail to the MANAGEMENT COMPANY and provide a copy to DEVELOPER.
- ❑ Schedule DRC exterior finishes and color inspection.
- ❑ Schedule DRC for final inspection.

**Note: All changes from approved final plans must be reviewed and approved by the Design Review Committee before final review is completed.**

**DEVELOPER will schedule all DRC inspections with the private HOA inspector, Mr. Chris Moore (760) 436-3444.**

## *Final Plan Review Submittal Checklist*

- Architectural site plan (plot plan)
- Grading and drainage plan
- SWPPP and Notice of Intent (NOI)
- Civil Engineers wet stamp and signature
- Site sections, scale 1/8" = 1' – 0" minimum
- Floor plan(s), scale 1/8" = 1' – 0" minimum
- Exterior elevations, scale 1/8" = 1' – 0" minimum
- Roof plan, scale 1/8" = 1' – 0" minimum
- Perspective
- Major architectural details
- Foundation plan, scale 1/8" = 1' – 0" minimum
- Floor framing plans, scale 1/8" = 1' – 0" minimum
- Construction details
- Building sections
- Exterior building lighting plan
- Door and window schedules
- Specifications
- Architects wet stamp and signature
- Landscape planting plan, scale 1/8" = 1' – 0"
- Hardscape and dimensioned staking plan(s)

- Major landscape details
- Irrigation plan
- Landscape lighting plan
- Landscape Architects wet stamp and signature

# *Guest Builder Residential Landscaping Design Review Application*

I. General Information Lot: \_\_\_\_\_  
 Name of Property Owner: \_\_\_\_\_  
 Property Address: \_\_\_\_\_  
 Mail Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Contact Person: \_\_\_\_\_ Phone No: \_\_\_\_\_

II. Project Information  
 New Landscaping                  Improvement/Modification

III. Neighbor Sign Off:

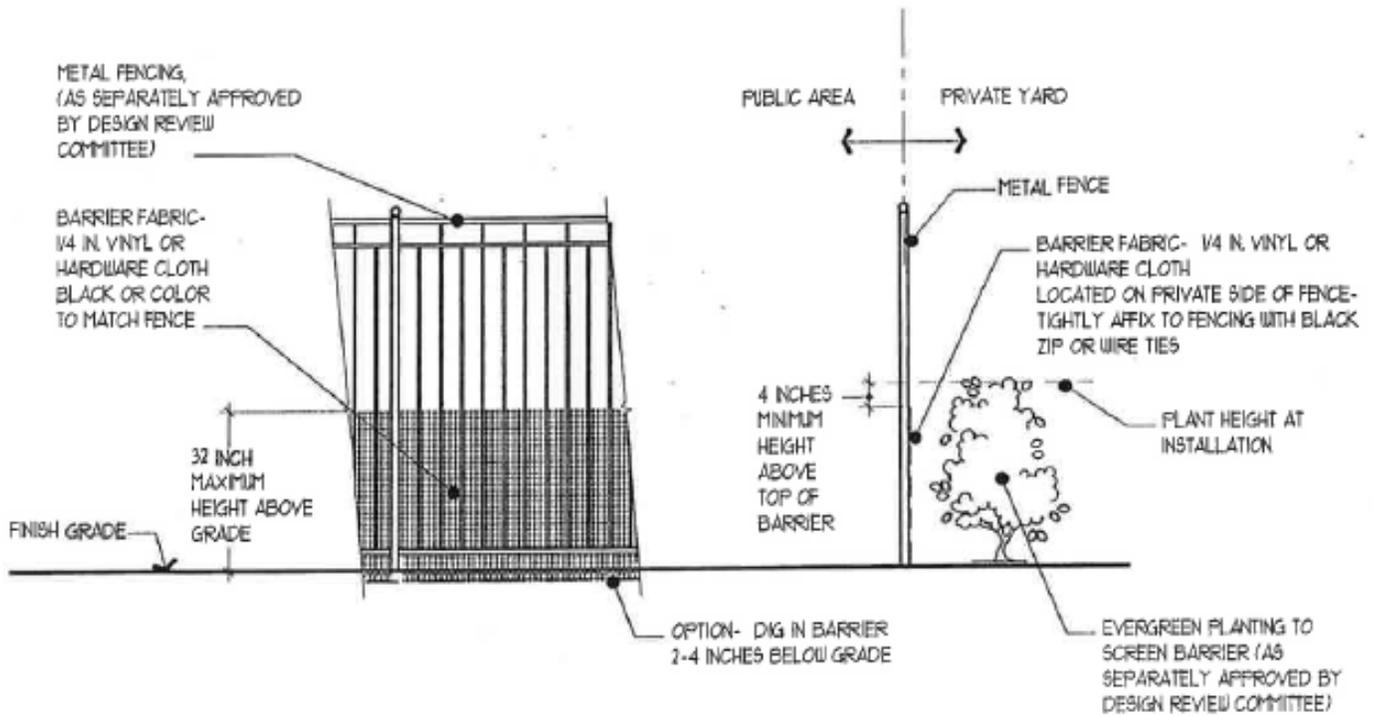
Please have your adjacent neighbors sign off on your landscaping plans. Adjacent neighbors would be those on either side of your property and the neighbor directly behind your property. \*

1.	_____	_____	_____
	Name	Address	Lot
2.	_____	_____	_____
	Name	Address	Lot
3.	_____	_____	_____
	Name	Address	Lot

\* It is imperative to obtain these neighbor signatures prior to submitting the plans to the Design Review Committee, failure to do so will delay the processing of your plans. Neighbors do not have the authority to approve or disapprove a plan, they are acknowledging that they have seen the plan only. If the neighbor has concerns with the plan, the neighboring homeowner can comment on their concern and it will be considered by the Design Review Committee. However, if the plans fall within the DESIGN GUIDELINES of the Association the Applicant may be allowed to go forward with the design.

**Mail to:**  
  
**The MANAGEMENT COMPANY**

## *Pest Barrier Schematic*



## *Preliminary Plan Review Submittal Checklist*

- Site plan with building outline, scale 1" = 10' minimum
- Floor plan(s), scale 1/8" = 1'- 0" minimum
- Conceptual elevations of all sides, scale 1/8" = 1'- 0" minimum
- Conceptual roof plan, scale 1/8" = 1'- 0" minimum
- Design Review Application and Review Fee

Date Received: \_\_\_\_\_

## *Prohibited Plant List*

<b>EXOTIC PLANT PEST SPECIES</b>		
<b>SCIENTIFIC NAME</b>	<b>COMMON NAME</b>	<b>HABITAT MOST AFFECTED</b>
<i>Atriplex semibaccata</i>	Australian salt bush	Coastal Sage
<i>Arundo donax</i>	Giant reed	Riparian
<i>Brassica nigra</i>	Black mustard	Coastal Sage
<i>Carpobrotus</i> sp.*	Ice plant / sea fig	All
<i>Centaurea</i> sp.*	Star thistle	Coastal Sage
<i>Chrysanthemum</i> sp.*	Chrysanthemum	All
<i>Conium maculatum</i>	Poison hemlock	Riparian
<i>Cortaderia</i> sp.*	Pampas grass	Riparian
<i>Cynara cardunculus</i>	Artichoke thistle	All
<i>Eichornia crassipe</i>	Water hyacinth	Riparian
<i>Erodium botrys</i>	Filaree	Coastal Sage
<i>Foeniculum vulgare</i>	Fennel	All
<i>Hydrilla verticillata</i>	Hydrilla	Riparian
<i>Lolium perenne</i>	Italian ryegrass	Riparian
<i>Marrubium vulgare</i>	Horehound	All
<i>Nicotiana glauca</i>	Tree tobacco	All
<i>Pennisetum</i> sp.*	Fountain grass	Coastal Sage
<i>Phoenix</i> sp.*	Date Palm	Riparian
<i>Ricinus communis</i>	Castor bean	Riparian
<i>Rumex crispus</i>	Curly dock	Riparian
<i>Delaireia odorata</i>	Cape ivy	Riparian
<i>Schinus terebinthifolius</i>	Brazilian pepper tree	All
<i>Spartium junceum</i>	Spanish broom	All
<i>Tamarix</i> sp.*	Salt Cedar	Riparian
<i>Xanthium</i> sp.*	Cocklebur	Riparian

\*All species of this genus should be treated as a pest species.

### ***Invasive***

Species indicated as “invasive” may not be planted within The Crosby. Other species determined by the DRC to be invasive will be prohibited.

<u>Botanical Name</u>	<u>Common Name</u>
<i>Arundo donax</i>	Giant Reed
<i>Atriplex semibaccata</i>	Australian saltbush
<i>Cytisus</i> sp.	Scotch or French broom
<i>Cortaderia selloana</i>	Pampas grass
<i>Spartium junceum</i>	Spanish broom
<i>Pennisetum Setaceum</i>	Fountain grass
<i>Phoenix canariensis</i>	Canary Island Date Palm
<i>Phoenix dactylifera</i>	Date Palm
<i>Phoenix reclinata</i>	Sinegal Date Palm

Artificial plants:

As stated in earlier sections, artificial turf is only permitted in back and side yards within the Community.

## *Sample DRC Checklist*

### **Format - All**

- street address and lot number
- name, address, phone number and other contact information of the plan preparer.
- date of preparation
- neat, clear, readable at ½ size reduction.
- graphic scale and north arrow
- property lines, building footprint, street curb, sidewalk, driveway, walks, patios, pools, walls, fences and landscape structures
- matches Architectural Site Plan and Engineer's Grading Plan
- The Crosby Club approved plan provided
- Rancho Santa Fe Fire Protection District approved plan provided

### **Content - Guest Builder – Landscape Only**

- prepared by an experienced landscape professional.
- site plan
- planting plan
- Rancho Santa Fe Fire Protection District approved plan
- design sketches for hardscape
- grading and drainage performance specifications
- irrigation performance specifications
- lighting plan
- maintenance notes

### **Content - Custom Residential – Landscape Only**

- prepared by a State of California licensed Landscape Architect.

### *Conceptual Landscape Plan Submittal*

- site plan
- planting plan
- design sketches for hardscape

### *Landscape Working Drawing Submittal*

- planting plan per conceptual landscape plan
- Rancho Santa Fe Fire Protection District approved plan
- hardscape plan
- grading and drainage performance specifications
- irrigation performance specifications
- lighting plan
- maintenance notes

### **Architectural Vision & Building Materials and Features**

- \_\_\_ acceptable finish materials of brick, stone, tile, stucco, decorative iron, wood trellises and gazebos.
- \_\_\_ acceptable paving materials of stone, exposed aggregate, unit pavers, stamped concrete, brick stone, terrazzo, and decomposed granite.
- \_\_\_ provides small enclosed gardens.
- \_\_\_ incorporates fountains.
- \_\_\_ walls, fences compatible w/ architecture
- \_\_\_ maximum wall fence height 6’.
- \_\_\_ trash screened from street view.

### **Landscape Character & Standards**

#### **Planting Design**

*Planting plan shall conform to specific Community Landscape Character objectives:*

- \_\_\_ character consistent with The Crosby and rural Rancho Santa Fe.
- \_\_\_ extend and harmonize with existing street scene.
- \_\_\_ perimeter areas visually blend home landscaping with surrounding properties.
- \_\_\_ buffer areas of compatible plant materials between adjoining properties.
- \_\_\_ informal character, formal areas within informal context
- \_\_\_ drought resistant - no extensive areas of lawn or other high water requiring landscape.
- \_\_\_ no large expanses of bark or gravel mulch without planting.
- \_\_\_ screen utilities and accessory structures from view with appropriate plantings.

*Specific objectives:*

- \_\_\_ all areas landscaped or hardscape.
- \_\_\_ feature plants from Allowed Plant List
- \_\_\_ note indicating repair of damage to any HOA, Golf Course or adjacent property at homeowner expense.
- \_\_\_ brush management zones indicated as applicable
- \_\_\_ design is sensitive/compatible to adjacent properties
- \_\_\_ plants complement adjacent plantings & site architecture
- \_\_\_ symbols spaced to reflect ultimate size.
- \_\_\_ utilizes long-lived plants.
- \_\_\_ provides immediate impact
- \_\_\_ creates livable environment

*Minimum tree location setbacks shall be provided:*

- \_\_\_ 3’ from any Property Line
- \_\_\_ 4’ from any utility
- \_\_\_ 10’ from all fire hydrants
- \_\_\_ 20’ from all streetlights
- \_\_\_ limb clearance – 15’ over streets, 8’ over bike and pedestrian areas.

*Other:*

- \_\_\_ vines secured
- \_\_\_ groundcover 12" on center spacing or 2" mulch (in shrub areas)
- \_\_\_ grass minimum 6' wide, 3' from building or wall
- \_\_\_ grass minimum 2%, maximum 20% slope.

**Front Yards**

- \_\_\_ planting areas interface smoothly with neighboring properties. Lawn edges aligned
- \_\_\_ well-organized groupings of complementary shrub and groundcover species
- \_\_\_ no large expanses of gravel mulch without groundcover shall be allowed.

*Minimum sizes, quantities:*

- \_\_\_ trees, 36" box
- \_\_\_ palms, 12-15 feet brown trunk height (BTH)
- \_\_\_ shrubs - 50% of overall quantity, 15 gallon
- \_\_\_ woody shrubs - 5 gallon
- \_\_\_ trees - one per 25 linear feet
- \_\_\_ shrubs - woody shrubs to completely cover house foundation as visible from street

*Sight lines maintained:*

- \_\_\_ shrubs within 10' of street and 5' of drives with mature heights not over 3'.

**Rear and Side Yards**

*Minimum sizes, quantities, areas:*

- \_\_\_ rear yard trees, adjacent to Golf Course - 36" box
- \_\_\_ rear yard trees, not adjacent to Golf Course - 24" box
- \_\_\_ side yard trees - 15 gallon
- \_\_\_ woody shrubs - 5 gallon
- \_\_\_ trees - one per 35 linear feet of rear property line or setback footage, whichever is greater
- \_\_\_ trees - to break up long walls as necessary
- \_\_\_ shrubs - woody shrubs to completely cover house foundation as visible from adjacent common area
- \_\_\_ side yards - 5' wide minimum planting area along all side property lines

**Slopes**

*Minimum requirements:*

- \_\_\_ BMP - bonded fiber matrix (hydro sprayed) or straw blanket
- \_\_\_ groundcover coverage within one year
- \_\_\_ slopes 5' or less with shrubs and groundcover per County of San Diego requirements
- \_\_\_ slopes 5' and over with trees, shrubs and groundcover per County of San Diego requirements
- \_\_\_ groundcover coverage within one year

**Plant List**

*Allowed Plant List is to be utilized:*

- \_\_\_ front yard minimum 25% "Theme" species
- \_\_\_ "Accent" use, limited to a maximum of 25%
- \_\_\_ no plants from Prohibited Plant List

## **Fire District Approval – Brush Management**

\_\_\_ Rancho Santa Fe Fire Protection District approval provided

## **Site Improvements**

### *Hardscape Plan:*

- \_\_\_ overall character consistent with The Crosby and Rancho Santa Fe heritage.
- \_\_\_ materials of the quality and appropriateness, and integral to house
- \_\_\_ no metal finishes
- \_\_\_ clearly delineates existing and new construction, including existing walls and fences
- \_\_\_ indicates all materials and finishes
- \_\_\_ indicates placement and heights of fences and walls (including retaining walls)
- \_\_\_ walls and fences coordinated with neighboring homes.
- \_\_\_ trellises, arbors and gazebos - height in relation to adjacent ground and original pad elevation
- \_\_\_ air conditioning units located behind wall or where not visible from front yard, not permitted on roofs
- \_\_\_ trash, storage, utilities located behind wall or where not visible from front yard
- \_\_\_ detail and specification provided to fully explain the design and construction

### *As applicable - Pool/Spa Plan*

- \_\_\_ pool/spa set back 4' minimum from property lines and adjacent slopes
- \_\_\_ saline pools are not allowed at the Crosby
- \_\_\_ walls must screen pool equipment completely from all angles, minimum 5' height
- \_\_\_ provide sewer lateral to pool equipment area
- \_\_\_ filter backwash and pool discharge is allowed to be pumped into the sewer lateral at a rate of 50 gpm or less.
- \_\_\_ direct connection from the swimming pool equipment to the sewer lateral is not allowed.

## **Soil Preparation**

### **Guest Builder – Landscape Only**

- \_\_\_ soil testing and amendment performance specifications.

### **Custom Residential – Landscape Only**

- \_\_\_ soil testing and amendment performance specifications.

## **Drainage and Grading**

### **Guest Builder – Landscape Only**

- drainage and grading performance specifications

### **Custom Residential**

- Drainage and Grading Plan

### *Submittals include:*

- \_\_\_ proper format
- \_\_\_ custom Residential - complete drainage and grading plan indicating surface patterns, inlets, line layout, outlets, details, and specifications

- guest Builder Landscape Only - drainage and grading performance specifications, outlet located

*Design and specifications:*

- landscape drainage provided, including surface drainage pattern, inlet locations and elevations, and outlets
- no drainage onto adjacent property and/or common area
- 2 % minimum
- approved outlet, 1 curb core maximum.
- elevations indicated for proposed construction
- topography indicated appears consistent with engineer's plan
- mounding and grading indicated by contour and elevation

**Irrigation**

**Guest Builder – Landscape Only**

- irrigation performance specifications

*Custom Residential*

- complete irrigation plans indicated individual heads and lateral line layouts, details, and specifications

*Submittals include:*

- proper format
- custom residential - complete irrigation plans indicating individual heads and lateral line layouts, details, and specifications
- guest builder landscape only - irrigation performance specifications
- water point of connection
- mainline routing
- control valves
- automatic controllers
- automatic rain shut off device

*Design and specifications:*

- automatic irrigation system
- irrigate all planting areas uniformly
- minimize overspray
- appropriate zoning
- tailored to the type of plantings proposed
- efficient, long-lasting equipment
- no arrangement of plants requiring unlike moisture
- provide pressure regulation and backflow prevention, out of view
- no vacuum breakers where visible from the street
- separate by lawn and shrub/ground cover, orientation, and slopes.
- all piping below grade
- no riser within 5' of walks, drives, other paving, pedestrian use or turf areas
- no heads of radius over 15' adjacent to streets and sidewalks
- provide check valves as needed to prevent low head drainage.
- repair and replace, adjust as necessary any CEMA, Golf Course, DEVELOPER or adjacent

property irrigation damage at homeowner expense.

### **Exterior Lighting**

- lighting directed at architectural or landscape feature.
- unshielded lighting avoided.
- property perimeter lighting avoided.
- eave-mounted security lighting avoided.
- landscape light fixtures located and specified, including manufacturer, model, lamp wattage, dispersal pattern and object of illumination.
- fixture style, finishes, and color consistent with architectural character of house - exterior lights in wrought iron looking finish
- fixture finish, appearance and location unobtrusive.
- landscape lighting control mounting location indicated, and unobtrusive.
- conforms to County of San Diego Dark Sky Ordinance

### **Maintenance**

- 90 day by installation contractor
- permanent responsibility note.

## *Schematic Design Plan Review Submittal Checklist*

- Architectural site plan (plot plan)
- Grading and drainage plan
- SWPPP, Erosion Control plan, Copy of Notice of Intent (NOI)
- Site sections, scale 1/8" = 1' – 0" minimum
- Floor plan(s), scale 1/8" = 1' – 0" minimum
- Exterior elevations, scale 1/8" = 1' – 0"
- Roof plan, scale 1/8" = 1' – 0" minimum
- Perspective
- Major architectural details
- Architects wet stamp and signature
- Landscape planting plan, scale 1/8" = 1' – 0" minimum
- Hardscape plan
- Major landscape details
- Landscape Architects wet stamp
- Color and material board - show all exterior materials and colors including hardscape and fencing with manufacturer name, color and finish

Homesite No . \_\_\_\_\_

## *Start Of Construction Approval Checklist*

The following requirements must be completed in order for you to start construction at The Crosby. These items are detailed in the "Contractors Manual" and "Design Review Guidelines":

- Design Review Committee (**DRC**) release after all their requirements are met.
- Five (5) complete sets of San Diego County and Rancho Santa Fe Fire Protection Department approved plans to the **MANAGEMENT COMPANY**.
- A signed copy of the Acknowledgement of Receipt and Understanding of the "Contractors Manual" to the **MANAGEMENT COMPANY**.
- A completed copy of the Construction Personnel Information Form, (see Contractors Manual) to the **MANAGEMENT COMPANY**.
- Two copies of the Temporary Construction Facilities Plan (TCF Plan) to **DEVELOPER**.
- \$10,000.00 Clean-Up / Improvement Deposit (\$500.00 non-refundable) to the **MANAGEMENT COMPANY**.
- Contractor's Certificate of Insurance, including additional insured requirements to the **MANAGEMENT COMPANY**.
- SWPPP requirements and NOI required to the **MANAGEMENT COMPANY** and **DEVELOPER**.
- Once these requirements have been satisfied, the **MANAGEMENT COMPANY** will provide approval for you to proceed with construction. You may then contact **DEVELOPER** to schedule a Pre-Construction Meeting.
- Field pre-construction meeting and inspection with lot owner and or general contractor/builder and **DEVELOPER**.
- **CONTRACTOR MAY START CONSTRUCTION AFTER PRE-CONSTRUCTION MEETING.**

## *Swallow Netting*

